



Willowsford®

HOMEOWNERS
ASSOCIATION



Property Maintenance & Design Standards

Revised August 2025



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OVERVIEW

Objective

Historic architectural styles are leading characteristics in creating a unique and aesthetically striking home. Each home is a building block of the streetscapes that collectively give the Willowsford community its distinct shape and style. Creating stunning, outdoor home-ambiance reflects the way in which Willowsford is markedly set apart from other communities. To safeguard and foster the Willowsford vision, distinct guiding principles, and design review methods are set in place to ensure continuation of our community's unrivaled architectural beauty.

The primary purpose of this document is to provide a consistent set of design and maintenance standards for the Willowsford Homeowners Association and to familiarize homeowners and residents with those standards and procedures to maintain the environmental and architectural design quality for the entire community. The promulgation and enforcement of these standards is intended to achieve the following objectives:

- Maintain consistency with the overall design concept for the community.
- Promote harmonious architectural and environmental design qualities and features.
- Promote and enhance the visual and aesthetic appearance of the community.
- Protect and preserve property values.

This document enumerates specific standards which have been adopted by the Willowsford Homeowners Association. It also explains the application and review process which shall be adhered to by homeowners seeking approval for any exterior modifications or changes to their homes or Lots which are subject to approval by the Design Review Committee. In general, these standards are applicable to all homeowners within the Willowsford Homeowners Association. This document will serve as a valuable reference and will assist homeowners in preparing acceptable applications for review by the Design Review Committee. All homeowners are encouraged to familiarize themselves with its contents and to retain the document for future use. Revisions to this document occur from time to time. It is the responsibility of the Applicant to ensure they are utilizing the most current Property Maintenance and Design Standards. The current version of this document may be found on the Willowsford Life website (www.willowsfordlife.com) or you may email DRC@Willowsfordlife.com.

Authority

This document is authorized by and supplementary to the Charter. These standards are intended to complement the Charter. Should a conflict arise between the Charter and this document, the provisions of the Charter shall prevail. These standards are binding upon all homeowners and their successors in homeownership, irrespective of whether (or not) these homeowners are familiar with the document.

Chapter 5 of the Charter provides that all site work, landscaping, and all structures, improvement and other items placed, whether temporarily or permanently, on a Lot or the Common Area, in a manner or

location visible from the outside of existing structures (“Improvements”) are subject to standards for design, landscaping, and aesthetics adopted pursuant to the Charter.

Further, Chapter 7 provides that the Board of Directors, on behalf of the Association and its Members, may adopt new Rules and modify or rescind existing Rules by a majority vote of the directors at any Board meeting.

These standards may establish criteria that exceed government agency requirements; however, nothing in these standards shall replace or supersede, or be inconsistent with, any rules and regulation promulgated by a government agency. Plans and information submitted for review shall comply with all applicable building codes, zoning regulations, and the requirements of government entities having jurisdiction over the building project or property within. **Approval by the Design Review Committee does not relieve the Applicant of responsibility of obtaining all other necessary approvals and permits required by the County, the State, and other agencies having jurisdiction over the project, and ensuring compliance with all applicable government regulations.** In the event of a conflict between this document and a governmental requirement, the more restrictive requirement shall prevail.

Home Improvements Requiring Review & Approval

All changes, permanent or temporary, to the exterior appearance of a building or Lot are subject to review and approval. The review process is not limited to major additions or alterations, such as adding a room, deck, or patio. It includes such minor items as changes in color and materials. Homeowners may not remove an existing item without first obtaining written approval from the Design Review Committee. Each item under the Property Maintenance and Design Standards states when a change is not permitted without prior approval.

- Activities (also known as improvements, projects, or modifications) shall not start prior to receipt of approval from the Design Review Committee
- In the event any activities start prior to receiving approval from the Design Review Committee, an additional processing fee, equal to the applicable application fee, shall be paid to the Association.

Application and Review Process

For questions regarding the application and review process, helpful checklists, and FAQ’s, please visit the Design Review page on the Willowsford Life website (www.willowsfordlife.com) or email **DRC@Willowsfordlife.com**.

Applications

- All applications for proposed improvements shall be **complete** and submitted in writing using the most recent Exterior Modification Application found on the Association’s website (www.willowsfordlife.com) and in Exhibit A of this document.

- Signatures or electronic acknowledgement from neighboring homeowners are required to confirm acknowledgement of the project only. Neighboring homeowners include those most impacted or within view of the proposed modification. Signature/electronic acknowledgement does not indicate support or approval of the modification(s). If you have attempted to collect acknowledgements via physical signature, email/text, or you have no neighbors behind you or to the left/right, please indicate so on the Neighbor Acknowledgement page of the Exterior Modification Application.
- In the event there are material changes or amendments (as determined by the Design Review Committee) made to an Exterior Modification Application, the homeowner shall be required to provide the amended Application with any applicable supporting documentation to their neighboring homeowners for acknowledgment in accordance with the preceding bullet items before submitting back to the Design Review Committee.

Supporting Documentation

- The application shall include supporting documentation and a complete and accurate description of the proposed improvement(s). At a minimum, a complete application shall include:
 - A copy of the House Location Survey for the Lot (generally referred to as a plat) depicting an outline of the location of the proposed improvement with setback distances from edge of the improvement to adjacent Lot lines.
 - A complete description and picture representation of the materials to be used, colors, and dimensions.
 - Photos of the home and location where the modification(s) will be installed.
 - Grading Plan (if applicable) showing contours, proposed grades, and elevations.
 - Plan view layout drawing with all labeling and drawn accurately and to scale.
 - Elevation Plan (if applicable) with all labeling and drawn accurately and to scale.
 - Details for accessory items, which may include but is not limited to, outdoor kitchens, pavilions, and lighting.
 - The Association reserves the right to request additional documentation, which may include but is not limited to photographs and contractor plan(s).

Please refer to the Design Review page on the Willowsford Life website (www.willowsfordlife.com) for project submission checklists.

If the requisite documents for your project are not included with your application, your application will be considered incomplete and may be returned to you for additional information. **Incomplete applications will not be submitted to the Design Review Committee for review.**

Fees

Application fees can be found on the Exterior Modification Application and vary per project. Please refer to Exhibit A for the application fee schedule.

Application Submission

Submission Deadlines and Meeting Dates

- Consult the Association's website (www.willowsfordlife.com), Community Calendar, and/or the Willowsford Life weekly e-blast for submission deadlines and meeting dates.
- Applications received after the application deadline will be reviewed at the following month's committee meeting.
- Completed applications shall be hand-delivered, placed in the drop box, or mailed to the following address prior to the submission deadline:

Willowsford Sycamore House
23506 Founders Drive
Ashburn, VA 20148

- **Please retain a copy of your application for your records.**

Review Process

- Once your completed application has been received, a preliminary review will be conducted by Association Staff to determine if the application is eligible for Review by the Design Review Committee. Applicants will be notified via email of deficiencies in their application or if additional information or documents may be needed. Additional information requested must be submitted at least forty-eight (48) hours prior to the upcoming Design Review Meeting to ensure the application is reviewed.
- Design Review Meetings are open to all members.
- Administrative Review of Applications - To expedite the review process for routine exterior modifications, Association Staff have been authorized to implement an administrative review for certain modifications (projects).
- Specific modifications (projects) eligible for Administrative Review can be found on the Exterior Modification Application (Exhibit A).

- Association Staff may determine, at its sole discretion, that further review is required for an administratively reviewed application, at which time, the application will be submitted for review by the Design Review Committee.

Pre-Review Meeting

- The Design Review Committee may choose to hold an in-person pre-review meeting at their discretion prior to the Design Review Committee meeting. Residents with applications submitted for that month will be notified via email if such a meeting is scheduled.

Design Review Meeting:

- Completed applications will be reviewed by the Design Review Committee. Applications are considered complete if no information is missing from the application.
- The Design Review Committee may identify additional required information/documents or deficiencies at the Design Review Meeting that may not have been noted in the initial review
- Once the Design Review Committee has made their decisions, the Association shall send a decision letter to Applicants by email. **Notifications may take up to seven (7), but no more than thirty (30) days to receive.**

Appeal Process:

- If an application and/or project is denied by the Design Review Committee, residents may submit a variance request as part of the appeal process.
- Variance requests are reviewed by the Board of Directors.
- The variance request must be submitted in writing and include a justification explaining why the variance should be granted. The request must present a valid and compelling justification to be considered (See variance standards on page 13 of this document)
- Variance requests must be submitted within 21 days of receiving the Design Review Committee's decision letter.
- If the variance is denied by the HOA Board, the decision is final, and no further appeals will be considered.

Variances

Variances from the Design Standards are strongly discouraged. However, variances in compliance with any of the Design Standards and any procedures may be authorized when determined that circumstances such as topography, natural obstructions, hardship, or environmental considerations justify a variance.

A variance request will not be considered unless a request is submitted in writing and includes the circumstances that justify a variance for a specific Lot.

A variance cannot be issued if the variance would be contrary to the Charter or prevent the Design Review Committee from denying a variance in other circumstances.

A variance requires the Board of Directors written consent prior to such variance being effective.

Review Criteria & Considerations

General Review Considerations

The Willowsford Design Standards cannot envision every type of improvement for which approval is required. There is latitude for the Design Review Committee to review applications based on the following general review considerations. As such, each application is reviewed on a case-by-case basis and, if necessary, requirements may be made by the Design Review Committee not specifically set forth in these standards to meet a site condition.

- **Easements:** While each home may be located on an individual fee simple parcel of land, it is possible that the land may be encumbered by an easement. Typically, easements are for storm drainage, sanitary or water lines, gas mains and/or service utilities such as electric, cable, phone, etc. It is the Applicant's responsibility to determine what easements are located on their Lot and to determine if it is permissible to work next to or within an easement. The Homeowner/Applicant (and/or contractor) assumes all liability for work done in or near an easement located on or off a Homeowner/Applicant's Lot. The presence of easements may limit the ability to implement improvements such as landscaping, fences, patios, decks, etc. and/or may require special permissions as part of the governmental permitting process. For additional information on how an easement might impact a proposed improvement, homeowners should contact Loudoun County and/or the appropriate easement holder(s).
- **Grouping of Various Structures:** Depending on the size of the Lot and its characteristics, the ability to have multiple structures may not be possible without disrupting the harmony of the surroundings and therefore, negatively impacting neighboring Lots. The Design Review Committee may ask that the quantity of structures be limited when too many structures are proposed on an Applicant's Lot.
- **Drainage:** No improvement or modification will be approved where it is obvious and anticipated that it may adversely affect drainage on the homeowner's Lot or on adjacent Lot(s). It is solely the responsibility of the homeowner to provide a remedy for any expected or unforeseen adverse effect on drainage on the homeowner's Lot or on adjoining Lots caused or exacerbated by construction of

a proposed modification. Erosion and sediment controls shall strictly adhere to governing requirements.

Review Criteria

The latitude to evaluate applications based on appropriate design criteria shall not result in the imposition of personal taste of the Design Review Committee. However, it does mean that the **Design Review Committee can evaluate each application on a case-by-case basis, on its individual merits, and specific circumstances such as characteristics of the housing style, the individual site, and relationships to environmental features.** What may constitute an acceptable design and approval application in one case, may not in another. Judgements of acceptable design (based upon the opinion of the Design Review Committee) are based on the specific criteria found within this document and generally based on the following criteria which, depending on the application, may not be all inclusive or applicable:

- Relation to Environmental Conditions and Community Open Space/Common Area: Harmony of a design with its surrounding natural environment is an important factor. Factors, such as the removal of trees, disruption of the natural topography, vegetation and changes in rate or direction of storm water run-off, also adversely affect the environment in terms of aesthetics or functionality.
- Validity of Concept: The basic idea shall be sound and appropriate to its surroundings.
- Design Compatibility: The proposed improvements shall be compatible with the architectural characteristics of the Applicant's home, adjoining homes, and the neighborhood setting.
- Location and Impact on Neighbors: The proposed alteration shall relate favorably to the landscape, the existing structure, and the neighborhood.
- Scale: The size (in three (3) dimensions) of the proposed alteration shall relate well to adjacent structures and its surrounds. For example, a large addition to a small home may be inappropriate.
- Color: Colors are considered for compatibility with design character of the neighborhood and the context of the surroundings. Color may be used to soften or intensify visual impact. Parts of an addition that are similar in design to an existing home, such as roofs and trim, shall match in color and composition. Photo samples of exterior materials, finishes, and colors may be required at the sole discretion of the Design Review Committee.
- Materials: Continuity is established by use of the same or compatible materials as were used in the original home. The options may be limited somewhat by the design and materials of the original home.
- Workmanship: The quality of work shall be equal to or better than that of the surrounding area.

- Site Appearance: A daily cleanup of construction materials is required. Debris shall be secured in a container and materials neatly and securely stored. All items associated with modifications, including without limitations materials, storage containers, and dumpsters, shall be stored in the driveway or rear yard of the property in which the project is taking place. The aforementioned items shall temporarily remain in approved locations during active construction and be promptly removed once active construction ceases.

Deviations to Approved Applications

There shall be no deviations from the plans, specifications, and location approved by the Design Review Committee before, during, or after construction without prior written consent of the Design Review Committee; any variation from the original application shall be resubmitted for approval.

Additionally, after the approved work has been completed, the homeowner is solely responsible for correcting any conditions and/or immediately restoring the Lot to its original condition in the event the construction deviates in any way from the original, approved plans. Further, if the homeowner fails to correct the condition after being notified by the Association, the Association may take all necessary enforcement action to correct the condition.

General Property Maintenance Standards

The Community Charter, Chapter 6, Maintenance, Repair and Replacement, 6.1 (a) provides that “each Owner shall maintain his or her Lot, including all structures, landscaping, facilities and equipment, and other improvements comprising the Lot, in a manner consistent with the Governing Documents and the Community-Wide Standard.”

- Neat Appearance: No unsightly conditions shall be permitted to exist upon the home site further referred to as the Lot.
- Grass/Turf: Homeowners and residents shall not permit turf grass on their Lot to exceed six (6) inches in height. Driveways and sidewalks shall be swept clear of grass clippings. Homeowners and residents are responsible for maintaining the health and good appearance of lawns on their Lot which may include seeding, watering (per county restrictions that may be in effect), weed removal, edging, and other tasks as required to properly maintain lawns.
- Open Space/Common Areas: All Open Space lands are Common Areas owned and managed by either the Conservancy or the Association. These areas shall be left in their natural, undisturbed state. All existing vegetation is to be preserved and protected. No use shall be made of Open Space/Common Area, nor shall any improvements be permitted thereon. Under no circumstances is dumping of any materials including grass clippings, yard debris, mulch, branches, etc., permitted on any Open Space/Common Area. The storage or placement of personal items including wood piles, play equipment, composting, etc. is not permitted on any Open Space/Common Area. The personal use of any Open Space/Common Area is not permitted including mowing, clearing, or

spraying beyond Lot lines. Any necessary Open Space/Common Area restoration will be at the expense of the violating party.

- Weeding and Pruning: Homeowners and residents shall keep their Lot, including lawn, landscaping and natural areas, overgrown weeds, leaves, debris, and overgrown or unsightly shrubbery or other plant growth, properly and neatly maintained. Homeowners and residents shall be responsible for any weeding and mulching of planted beds, removal of leaves and debris accumulation from lawns and planted beds and pruning and shaping of shrubbery and trees that is necessary to keep a clean appearance of the Lot.
- Dead Plants, Shrubs, Trees: Homeowners and residents shall remove all dead plants and shrubs from their Lot; however, removal shall follow the standards for removal, replacement, and approval requirements found in the Tree and Vegetation Removal Policy (see Exhibit E).
- Trash and Refuse: Homeowners and residents shall maintain their Lot to be free from all litter, trash, or other debris. It is the responsibility of the Homeowners and residents to ascertain the trash collection requirements for any item they wish to discard, including used appliances and other items which require special pick-up or removal, and to ensure that such item(s) is/are promptly collected by the appropriate service. Items for collection shall be properly secured to prevent blowing debris and litter throughout the community. Homeowners and residents shall contact the Willowsford trash contractor to schedule any bulk pickup. Storage or dumping of materials on Open Space/Common Area is prohibited.
- Garbage and Recycling Storage: Garbage and recycling containers shall be kept out of view except when placed at curbside for pickup. Trash and Recycling containers should be placed curbside for pick up no earlier than the evening before collection and should be removed the evening of collection day. Containers must be stored away on non-pickup days so as not to be seen from the street or neighboring Lots.
- Construction Materials Storage: Construction materials required for the improvement of a home or Lot (whether approval is required for the modification or not) shall be neatly stored in as unobtrusive a location on the Lot as possible when not in use within twenty-four (24) hours from delivery. Placement of a dumpster does not require approval from the Association provided that: Association Staff is notified in writing of the intent to acquire a dumpster or debris bag, to include the delivery date and intended removal date, not to exceed two (2) weeks in any calendar year; all dumpsters or debris bags will be maintained in a clean and sanitary manner, to include emptying when full and shall be placed only in a homeowner's private driveway. Placing a dumpster or debris bag on Open Space/Common Area is not permitted.
- Driveway: Driveways shall not be used for storing inoperable, commercial, or recreational vehicles.

- Exterior Maintenance: The exterior of a home shall be maintained in an attractive manner. No significant blistering or peeling of exterior painted surfaces is permitted. Any exterior building components (i.e., siding, gutters and downspouts, roof shingles, windows, and doors) which are missing, broken, or otherwise in a state of disrepair, shall be repaired as quickly as possible and/or in conformance with the repair deadlines outlined in any notice received by the Association.
- Lawn Equipment: Farm and garden accessories and equipment, including without limitation, lawn mowers, tractors, bush hogs, shovels, rakes, and wheel barrels shall be stored out of view from other Lots, Open Space/Common Area, or public or private streets and roadways.

Violation Enforcement

- Violations to these Property Maintenance and Design Standards and any other Willowsford Homeowners Association rules and regulations will be enforced in accordance with the Charter, Virginia Property Owners Association Act, and Resolution 23-2 Due Process Procedures, as may be amended from time-to-time.

DESIGN STANDARDS

Additions

Additions to the exterior of the home shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Additions and exterior alterations are generally considered to be those that alter the existing structure by either subtraction or addition and become an integral part of the existing home. Alterations include, but are not limited to, room additions, sunrooms, garages (See Garage Additions and Extensions), room extensions, pool houses, etc.
- Additions shall be the same as or compatible in design with the existing home.
- Roof pitches shall match or be compatible with the roof slope on the existing home. Where two or more roofing or siding materials are used on the existing home the material shall match the abutting surface unless the plane (slope or direction) of the new surface changes. Transitions between materials shall be logical and appropriate.
- If changes in grade or other conditions which will affect drainage are needed, they shall be clearly shown on the application. Generally, approval will be denied if adjoining Lots are determined to potentially be adversely affected by changes in drainage. Drainage in swales or sheet flow shall not be restricted and/or blocked.
- Any additions shall minimize existing tree removal. Supplemental landscaping may be required to compensate for the approved removal of trees/vegetation or to provide appropriate screening where necessary.

Location:

- Additional setback requirements may be stated for improvements that may be individually or specifically referenced in these standards in the following pages, but at a minimum the improvement shall meet applicable governmental setback requirements and may not be constructed across Building Restriction Lines (BRL).
- Significant additions forward of the front face of the home are generally not permitted.

Size:

- The improvement shall be appropriately proportioned and otherwise compatible with the existing home.

Materials:

- Roofing materials shall match that of the home; siding and trim shall match the home in material, size, and style.

- Windows and doors shall match (or be compatible with) those used in the existing home and shall be positioned in a manner which relates well to the location of existing windows and doors on the home.

Color:

- The colors shall match or complement the colors on the existing home.

Address Numbers

Address numbers do not require approval from the Association provided they meet the following standards:

- Except for numbers located on mailboxes, replacement address numbers shall be black (or match the original address numbers color) and of a proportionate size relative to the front door entrance.
- If a plaque is used, the plaque shall be painted to match or blend in with the surrounding trim.
- Address numbers should be located next to the front door entrance and either on the surrounding door trim or on a plaque next to the front door.
- Address numbers may not be painted on the curb.

Antennas/Satellite Dishes

Antennas and satellite dishes do not require approval from the Association provided they meet the following standards:

General:

- Satellite dishes that are larger than one (1) meter (approximately 39 inches) in diameter are prohibited. Television antennas, MMDS (multichannel, multipoint distribution) antennas, and satellite dishes that are one (1) meter in diameter or less, are permitted.
 - The Federal Telecommunications Act grants specific rights to homeowners regarding the installation of exterior receiving antennas. Specifically, the act allows satellite dishes that are one (1) meter or less in diameter or width (approximately 39 inches) and antennas for wireless cable (MMDS) and broadcast television reception may be mounted on a mast no taller than twelve (12) feet.
 - The Telecommunications Act also grants communities and municipalities the ability to establish and enforce standards and guidelines regulating the location, installation, and color of these antennas when such rules do not adversely affect signal reception, unreasonably delay the installation of the antenna, or cause an unreasonable financial burden to the

homeowner. A request for an exterior alteration pertaining to the Telecommunications Act shall be processed expeditiously.

Location:

- Devices installed on the front of a home will not be permitted if an acceptable location exists in a less conspicuous place on the Lot or home.
- The location shall be as visually unobtrusive as possible, without unreasonably delaying the installation, increasing the cost of installation, maintenance, and use, and without precluding the reception of an acceptable-quality signal.
- Whenever possible, the devices shall be located in the rear yard and appropriately screened.
- If a satellite dish shall be installed at the roof level, then the satellite dish shall be situated on the rear side of the roof ridgeline to have no, or minimal, visibility from the front of the home.

Color:

- To minimize any adverse visual impact, a device that is affixed to a residence shall be painted to match the color portion of the home to which it is attached, so long as painting the device will not void the manufacturer's warranty, unreasonably delay, or increase the cost of installation, maintenance, and use, and doesn't preclude the reception of an acceptable quality signal.

Mounting:

- Ground Mount: Satellite dish shall be located as close to the home as possible. Where front or side yard locations are the only alternative, all equipment shall be installed near other utility equipment, or among shrubbery, or with shrubbery added as screening.
- Roof Mount: Satellite dish or antenna shall be located on the rear of the roof, below the ridgepole or peak. If a front roof mount is the only viable alternative for a dish, all equipment shall be installed to one side of the roof, rather than the center.
- Structure Mount: Satellite dishes shall be located such that the equipment is adjacent to a chimney or other protruding structure on the home. If on the side, the homeowner shall locate the equipment as far to the rear and as low on the structure as possible. If on a deck, the equipment shall be installed off to one side of the deck or adjacent to the home, if possible.

Landscaping:

- To the extent possible, dishes and antennas shall be screened with evergreen plant material so that they are not visible either from the street nor to adjacent Lots.
- The screening standards shall be followed to the fullest extent provided this standard does not unreasonably delay or increase the cost of installation, maintenance, and use, and does not preclude the reception of an acceptable quality signal.

Wiring:

- Exterior antenna wiring shall be installed to be invisible or barely visible from adjacent Lots, the Open Space/Common Area of the streets, and parking areas. Whenever possible, all exterior wiring shall be placed under siding or trim. All wiring shall be securely fastened to the structure to which it is adjacent, so it is not hanging loosely.

Arbors

Arbors shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- An arbor is defined as a walk-through garden structure without a floor, typically made of wood or metal which serves as a framework to support climbing vegetation. (See example photo below).



Location:

- Adverse drainage impacts which may result from the construction of an arbor shall be considered and must be remedied upon installation.
- The location shall be restricted to the side yard and the rear yard area and setback a minimum of three (3) feet from any property line, except that on a corner Lot they shall be ten (10) feet from any property line adjacent to a roadway.

Size:

- The arbor shall not exceed eleven (11) feet in height as measured from its base to the highest part of the structure from the adjacent ground surface.

- The size shall be to scale for the space in which it is located, but in no case shall the arbor exceed 80 sq. feet per arbor.
- There shall be no more than two (2) arbors per Lot.

Materials:

- Acceptable materials are wood, wood composite, white vinyl, aluminum, or wrought iron.

Color:

- The color shall match or be compatible with the color of the home and may include, but shall not be limited to, black, white, natural wood (brown) tones and colors which match the home's siding and/or trim. Any color outside of those listed shall be considered on a case-by case-basis.

Attic Ventilation, Turbines, and Metal Flues

Attic ventilators (which include turbines and metal flues) shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Attic ventilators must be compatible with the existing home. A diagram or adequate photograph showing the proposed location of the protrusion shall be required.

Location:

- Attic ventilators shall be mounted on the least visible side of the roof peak to minimize their visibility from common areas and adjacent Lots.

Color:

- Attic ventilators shall be painted to match the color of the roof or the color of the home's siding or trim depending on where it is located.

Audio/Visual Systems

Outdoor audio/visual systems do not require approval from the Association provided they meet the following standards:

General:

- Sound levels must follow the Loudoun County noise ordinance.
- The quantity of outdoor audio/visual systems shall be limited to one (1) visual system and no more than six (6) speakers

Location:

- Outdoor audio/visual systems including stereo sound systems, televisions, video monitors, and gaming systems shall be located such that they are not intrusive to neighbors, streets, and Open Space/Common Area.
- Outdoor audio/visual systems shall be restricted to the rear yard and shall not extend beyond the side plane of the home.
- Outdoor audio/visual systems shall be substantially screened from adjacent Lots.
- The Design Review Committee may require additional placement restrictions on Lots with highly visible rear yards.

Awnings (Retractable Only)

Awnings shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Only retractable awnings shall be permitted (one (1) per deck or patio). Awnings over windows or doors are not permitted when not associated with a deck or patio.
- All awnings shall be retracted when not in use.

Location:

- Awnings shall be attached to the rear plane of the home and incorporated into a deck or patio design for the purpose of providing shade to the associated deck or patio.
- Awnings shall not extend beyond the side planes of the home.

Size:

- Awnings shall not exceed the size of the deck or patio structure to which it's attached.

Color:

- The structural elements (supports, mechanical components, frames, etc.) shall be harmonious with the color scheme of the home.
- Fabrics shall be either solid colors or stripes with two colors, one of which shall be white, off-white, light beige, or light gray and the second color shall be compatible with the color scheme of the home. The color scheme of the home shall be submitted with the application.

Basketball Goals and Backboards

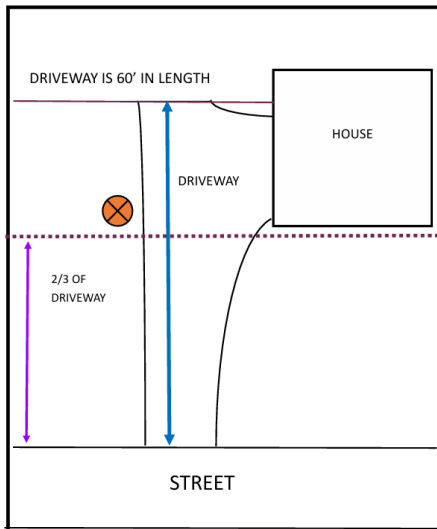
Permanent basketball goals and/or backboards shall not be installed until the Homeowner/Applicant receives approval from the Association.

Portable basketball goals do not require approval provided they meet the following applicable standards:

- Portable basketball goals shall be adequately stabilized in accordance with the manufacturer's instructions. Alternate forms of stabilizing, including but not limited to cinder blocks or sandbags, shall not be permitted.
- At all times, every element of the basketball goal shall remain upright and be maintained appropriately with the exception that during severe inclement weather such as a blizzard or gale force winds, portable basketball goals may be laid on the ground until the end of the weather incident.
- No court markings shall be painted, drawn, or otherwise affixed to any street or driveway.
- Netting used to retain errant balls is encouraged and shall be removed/retracted when not in use.
- Lighting affixed to the basketball goal or backboard is not permitted.
- Only one (1) basketball goal or backboard (permanent or portable) is permitted on a Lot.

Location:

- Basketball goals shall be located a minimum of five (5) feet from the nearest property line.
- Basketball goals shall be located in the front or side yard adjacent to the outside edge of the driveway opposite of the home.
- Basketball goals shall be installed a minimum of $\frac{2}{3}$ the length of the driveway as measured from the street. *See example on next page for reference*



- Basketball goals shall not be in close proximity to an adjacent road or sidewalk such that play will interfere with pedestrian or vehicular traffic or otherwise create an unsafe environment for pedestrians or motorists.
- Basketball goals shall be adjacent to existing driveways or associated with a sport court (see standards for Sport Courts). No basketball goals of any type shall be located on Open Space/Common Area, sidewalks, or streets.
- A basketball backboard may be affixed to side load garages only.

Basketball Goal on Patios - A single basketball goal (portable or permanent) is permitted on a patio only if the following standards are met:

- No markings (permanent or temporary) are permitted on the patio surface.
- The basketball goal shall be located no closer than twenty-five (25) feet from the nearest property line.
- The basketball goal shall be installed directly behind the home and shall not break the plane of the home.
- Lighting affixed to the basketball goal is not permitted.
- Landscape screening may be required to soften the visual impact from adjoining Lots, roadways, or Open Space/Common Area.

Color:

- A basketball backboard affixed to a side load garage shall be clear in color to allow for the home's siding to be visible from all angles and provide minimal visual impact from all views.
- Basketball goals shall be white, black, or clear in color. Backboards affixed to side load garages shall be clear in color.

- Metal poles associated with freestanding basketball goals shall be painted/finished in colors to blend with the natural surroundings or to blend with nearby structures.

Bird Baths, Bird Feeders and Bird Houses

Bird baths, bird feeders and bird houses do not require approval from the Association provided they meet the following standards:

Location:

- One (1) bird feeder/bird house may be placed in the front or side yard if integrated into an existing landscape bed. Up to three (3) bird baths, bird houses, bird feeders combined may be placed in the rear yard and may be freestanding in the lawn or integrated with a patio or deck. A total of four (4) such items may be installed on a Lot without approval from the Association provided that they otherwise comply with the requirements of these Standards. Bird houses and bird feeders are not permitted on street trees.

Size:

- The peak height of a bird bath may not exceed three (3) feet, and the width or length may not exceed thirty (30) inches.
- Bird Feeders and Bird Houses which are pole mounted may not exceed ten (10) feet in peak height. The peak height of the feeder or house structure itself (independent of the pole) shall not exceed two (2) feet and the diameter, width, and or length shall not exceed eighteen (18) inches. An exception to the height standard is granted for tube shaped bird feeders which may be up to thirty-six (36) inches in height/ length with a diameter of six (6) inches or less. Rounded, squared, or rectangular shaped feeders shall not exceed eighteen (18) inches in any one direction.

Materials:

- The materials may include, but are not limited to, wood, composite concrete, stone, or poly-resin/fiberglass. Other materials will be considered if they are compatible with the design features of the home as determined by the Design Review Committee.

Color:

The color scheme shall be compatible with the home or nature. Neutral colors are preferred. Bright colors are discouraged with the exception being in cases such as a hummingbird feeder which may purposely have a bright color.

Chimneys, Fireplaces and Firepits

Chimneys, Fireplaces, and Permanent Fire Pits shall not be installed until the Homeowner/Applicant receives approval from the Association.

For the purpose of these standards, a “chimney” is defined as a vertical structure incorporated into a home, pavilion, or covered porch enclosing a flue that carries off smoke from an interior fireplace or wood stove. A “fireplace” is defined as a freestanding outdoor feature typically associated with a patio.

Portable/non-permanent fire pits do not require approval from the Association; however, they must meet the following standards for fire pits. Applicant assumes all responsibility for the proper use, safety, and maintenance of the fire pit.

General:

- Chimney additions should be planned and designed with the same care as initial home construction and should be visibly integrated with the architecture of the home in style and scale. Generally, through-the-wall (direct-vent) metal flues will not be approved on the front elevation of a home.
- The base of a masonry or stone chimney shall be extended down to the ground surface when masonry is proposed. However, that does not preclude a stone façade within (inside) a covered porch or deck, even though the outside is a different material (such as “hardiplank” siding”).
- Outdoor fireplaces shall only be permitted in conjunction with patios and terraces. Free-standing fire pits are not permitted unless they are associated with a seating area designed to be harmonious and compatible with the home and its surroundings.
- Fireplaces, firepits, and chimneys shall comply with applicable Loudoun County Fire Marshall recommendations. It is the homeowner/applicant’s responsibility to determine these requirements.
- All fires shall be put out when not in use and fires may not be left unattended.
- Fireplaces, firepits, and chimneys shall be fully contained or enclosed by a non-combustible hardscape element such as metal or stone to prevent accidental spread of fire.

Location:

- Chimney additions may be considered for the sides or rear of the home on a case-by-case basis. When applicable, metal flues shall be selected, located, and installed in a manner to minimize their appearance on the home and visibility from neighboring Lots and the street. When attached to a home, the chimney shall adhere to Loudoun County setbacks. When attached to a covered porch or deck, the chimney shall adhere to Loudoun County setbacks, but in no case shall be within five (5) feet of a property line.

- Outdoor fireplaces shall be set back a minimum of ten (10) feet from the property line. However, outdoor fireplaces which exceed six (6) feet in height may be subject to additional setbacks, as determined by the Design Review Committee.
- Outdoor fire pits shall be set back a minimum of ten (10) feet from the property line.
- No firepits, fire rings, or firewood shall be placed in Open Space/Common Area.

Size:

- The chimney and/or metal flue shall meet the height required by the Loudoun County building code. The size shall be compatible and harmonious with the structure to which it is attached.
- Chimineas shall not exceed five (5) feet in height or thirty (30) inches in diameter.
- Fireplaces shall not exceed twelve (12) feet in height. The maximum width (not including wood boxes or a sitting wall) shall not exceed eight (8) feet and the depth shall not exceed six (6) feet (not including a grade level hearth).
- Firepits shall not exceed two (2) feet in height or six (6) feet in diameter for a round firepit or eight (8) feet by four (4) feet for a linear firepit.

Materials:

- A masonry chimney shall be constructed to match stone, brick, and/or other masonry materials used elsewhere on the home. Wooden enclosures of flues shall be constructed of the same materials as the home's siding and trim.
- Fireplaces shall be constructed using high quality materials such as brick, natural stone and/or other masonry products. Acceptable materials for a fire pit include: brick, natural stone and high-quality modular block specifically made for fire pit and fireplace applications.

Landscaping:

- Landscape screening is required to soften the view of a fireplace that backs to a neighboring Lot. If the back of the fireplace backs to Open Space/Common Area, the landscape screening is not required.

Clotheslines

Permanent clotheslines or similar apparatus are not permitted.

Temporary clotheslines do not require approval provided they meet the following standards:

General:

- Portable clothes drying racks may be used provided they are removed and stored when not in use.

- Items being dried must only be outdoors for the time it takes to dry them. Items are not permitted to remain outside overnight.
- Clotheslines or other similar apparatus for the exterior drying of clothes shall be in rear yards and set back from property lines at least ten (10) feet in locations which are not visually intrusive to neighboring Lots.
- Clotheslines may not be strung from or between trees.

Compost Bins/Barrels

Compost bins/barrels (including tumblers) do not require approval provided they meet the following applicable standards:

General:

- Compost bins/barrels shall be located or constructed in a manner which minimizes their impact on adjacent neighbors.
- The compost bin shall be maintained so that it does not create a visual or environmental nuisance.

Location:

- Compost bins/barrels shall be located in such a manner or, if necessary, screened, so they are not visible from the street, accessible Open Space/Common Area, or adjacent Lots. Generally, rear yard locations are preferred; side yard locations may be permitted at the discretion of the Design Review Committee.
- Compost bins/barrels shall be set back a minimum of eight (8) feet to any Lot line. However, the setback may be reduced to two (2) feet when adjacent to Open Space/Common Area

Size:

- The compost bin shall not exceed four (4) feet in height and shall not exceed sixteen (16) square feet in size with a maximum length of six (6) feet on any one side.

Materials:

- The compost bin/barrel shall be self-contained and shall be constructed of sturdy materials such as durable wood, plastic, or metal.

Color:

- Compost bins shall match the exterior color of the home or a muted, earth tone. If wood, compost bin may be left to weather naturally. Any exceptions outside of those listed shall be considered on a case-by-case basis.

Maintenance:

- All active compost bins shall be treated to prevent odors from escaping and shall be maintained in good condition at all times.
- Composting is limited to plant-based organic materials. Animal-based organic materials including, but not limited to, animal waste, meats, oils, fats, eggs, and cheese are prohibited.

Curtains/Shades

Curtains/shades installed on the exterior of the home do not require approval from the Association provided they meet the following standards:

General:

- Curtain and shade design and implementation shall be carefully considered to ensure they are harmonious and consistent with the existing home.

Location:

- Curtains and shades are restricted to rear yards and may only be used in conjunction with an approved pergola, pavilion, gazebo, covered porch, deck, pool house or other similar structure.
- When not in use to screen or shade residents or their guests, curtains/shades shall be tightly retracted and secured.

Size:

- The curtains/shades shall only be large enough to cover the opening for which they are proposed.

Materials:

- Curtains/shades must be made of cloth. Other materials may be considered on a case-by-case basis when found to be harmonious and compatible with the existing home.

Color:

- Curtains/shades shall be a single color and should match the trim of the home or compatible to the structure which it is attached to.

Decks and Covered Decks

Decks and Covered Decks (including balconies, stairs, landings, and associated features) shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Decks and Covered Decks shall be an integral part of the design of the home.
- Decks and Covered Decks shall be designed to be complementary to the architectural design of the home.
- Decks shall be attached to the home and shall not be freestanding or attached only via an elevated walkway.

Unless originally constructed with the home, balconies are not permitted on the upper level. Upper levels of the house include any floor higher than the main level. The main level includes the front entrance to the house and typically includes the kitchen, living room, and dining room.”

- Size shall be appropriate to the existing home and space available on the property.
- Side walls (“knee-walls”) and enclosed gable/roof ends on screened enclosures shall match or be compatible with the siding/trim materials of the home.
- Primary roof support post/columns shall measure a minimum of five (5) x five (5) inches nominal.
- Architectural detailing/trim accents shall be comparable to existing home.
- Screen, if provided, shall be black or dark gray in color.
- Any roof overhang shall be a minimum of six (6) inches (not including a gutter).
- Shingles and gutters/downspouts shall match the home in style and color.

Location:

- Decks and Covered Decks shall be located in rear yards and shall not break the side plane of the home or be erected forward of the rear plane of the home. The side plane is defined as the sidewall without consideration for protrusions to the sidewall (i.e., bay windows, HVAC units). The rear plane is defined as the rear-wall without consideration for any protrusions to the rear-wall (i.e., room extensions, bay windows, HVAC units).

Note: An encroachment past the side plane of five (5) feet or less will be considered for stairs (and the associated landing) that are ten (10) feet or less in height (as measured from the surface of the landing / flooring to the ground surface below. The Applicant shall provide a minimum of one (1) evergreen tree at a planted size of eight (8) feet to screen the stairway from views forward of the rear plane of the home. In the case of a side plane encroachment,

the deck, landing, and stairs shall be set back a minimum of five (5) feet to the adjacent property line.

- Setbacks shall comply with all applicable jurisdictional (zoning) regulations.

Materials:

- For wood decks, the preferred materials are redwood, cedar or black locust which are rot resistant and can be allowed to weather naturally. Pressure treated southern yellow pine is a less expensive alternative but requires more maintenance including regular application of penetrating stain/preservative to limit splitting.
- Composite or vinyl materials are considered appropriate for decking, stairs, and railings. Composite/Synthetic/PVC boards are appropriate for wrapping posts and exposed joists.
- Metal railings and/or balusters will be considered when appropriate to the home's architectural style.
- Other materials will be considered on a case-by-case basis and must be compatible with the materials and architectural design of the existing home.

Color:

- All exposed and visible components (including the supporting posts and main support beam) shall be pre-colored, treated with a clear preservative, painted, and/or stained. Natural wood products may be treated with a clear preservative, painted white, or off-white to match existing trim of the home or stained with a natural wood color which has been approved by the Design Review Committee.
- Traditional "redwood" stain and bright orange tones are discouraged.
- Non-natural, pre-colored deck components will be reviewed on a case-by-case basis. All colors shall complement the existing home colors.
- Photo color samples shall be submitted for review and approval of the Design Review Committee.
- All finishes shall be cohesive in color with the rest of the deck.

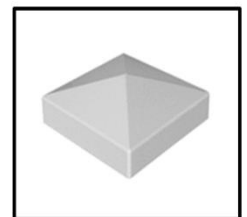
Design:

- Standards for decks and/or elevated rear structures greater than six (6) feet in height:
 - For the purpose of this standard, the height shall be measured from the ground surface to the bottom of the deck fascia.

- All supporting posts for the main deck structure shall be approximately eight (8) inches x eight (8) inches nominal dimension size, with decorative trim at capital and base. Example shown on right:
- See the section regarding “Under Deck Screening” below.
- Standards for decks/elevated rear structures less than 6 feet in height:
 - For the purpose of this standard, the height shall be measured from the ground surface to the bottom of the deck fascia. Height shall be measured at the location in the deck that yields the largest value (e.g., sloping ground).
 - Supporting posts shall be approximately six (6) inches x six (6) inches nominal dimension for all visible posts measuring six (6) feet or less in height (for example, a stairway landing or low support posts). If the supporting posts are less than six (6) feet in height, enhanced trim is not required.
 - See the section regarding Underdeck Screening below.
 - If underdeck screening is not provided, the applicant shall address what surface, (ground covering such as mulch or River Jack Stones), and what type of edging is being provided underneath the deck.
- Railing:
 - All railing systems shall have a minimum of two (2) inch x two (2) inch and a maximum of eight (8) inch x eight (8) inch size posts. Larger posts will be considered on a case-by-case basis and shall be appropriately scaled and compatible with the overall structure. Metal posts are discouraged but may be considered on a case-by-case basis if they meet the size requirements noted above.
 - Ultra-modern Glass Railing shall be considered on a case-by-case basis. Metal railings and/or balusters will be considered where appropriate to the home’s architectural style.
 - Posts are permitted to extend above the top rail to accommodate post caps. The posts shall have architectural grade caps (a “New England” style cap for example). Plain or basic diamond caps are not permitted.



*New England Style Cap
(permitted)*



Plain Cap (not permitted)

- The following are examples of approved railing styles*:

1. White vinyl with a composite railing cap board
2. Pressure treated wood with the posts extending above or below the railing cap board
3. White vinyl with black tubular balusters/pickets
4. White vinyl
5. Metal railing system in between white vinyl posts. (or may have metal posts greater than two (2) inches by two (2) inches
6. Pressure treated wood with black tubular balusters/pickets
7. Cable Railing

**These are for example only. Additional railing systems which meet the standards noted above may be considered for approval.*

- Deck Stairs and Stairs without a Deck:

Stairs and landings solely for access to doorways shall also adhere to these standards.

- All stairs shall have closed risers. Riser boards shall be provided.
- All unfinished ends of flooring boards and/or stair treads shall not be exposed and therefore shall be covered/enclosed with decorative trim, a fascia board, or enclosed with a stair "skirt". Unfinished cut-ends of stair treads may be exposed if they are sanded or rounded to a finished appearance. An example of the finished appearance must be submitted for consideration.

- All applications shall include labeling of all materials, dimensions, types, sizes, colors, etc.



- An elevation drawing showing the height of the deck with labels for the fascia, main beam, support posts, and all other features shall be submitted.
- The treatment of the ground below the deck and/or stairs shall be indicated. Will the grass remain, will the ground be covered with mulch and/or decorative stone and/or will the underside of the deck be enclosed with under deck screening?

- Under Deck Screening:

- Elevated decks which have an exposed under deck area can have a negative visual impact particularly when used as storage space. In this case, the use of decorative Under Deck Screening or landscaping to minimize adverse visual impacts is required. Any deck that does not have under deck screening is expected to be kept in a neat and orderly condition.
- The area below a deck may be enclosed with under deck screening for a deck height of up to ten (10) feet measured from the ground surface to the bottom edge of the deck fascia at its greatest (peak) height around the deck. Screening shall be considered on a case-by-case basis for decks greater than ten (10) feet in height. However, enhanced detailing and landscaping shall be required to soften the height and appearance.
- Lattice shall have a minimum opening of one (1) inch wide and a maximum of one and one-half inches wide, have a diagonal or other



complementary pattern, and shall be box-framed (aka “picture framed”) with trim boards one (1) inch x three (3) inches or one (1) inch x four (4) inches.

- The storage of any items below a deck is prohibited unless the screening standards listed above are implemented.
- Plain PVC panels will only be permitted for a height of two (2) feet or less. Plain PVC panels may be permitted above two (2) feet when painted to match the color of the homes siding or when a Board and Batten type design is used to break up the plain PVC.
- Consideration will be given to allow panels be colored to match the homes siding with trim that matches the current trim color on the home.
- Examples of underdeck screening are:
 1. Vertical Boards
 2. Lattice
 3. Picture Framing
 4. Board and Batten
 5. Horizontal Boards (including Shiplap)
 6. Stone Foundation Style (if home already has a stone foundation)



For more details pertaining to the different types of underdeck screening, please refer to Exhibit G.

Not Permitted



Dog Houses and Dog Runs/Pet Enclosures

Dog houses and dog runs/pet enclosures shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Dog runs, dog houses, and other pet enclosures are highly discouraged and shall be reviewed on a case-by-case basis.
- Landscaping may be required to screen doghouse locations as determined by the Design Review Committee.
- A dog run is defined as any separate fenced or walled structure constructed to allow dogs or other animals to exercise or move about a homeowner's Lot without escaping. All other constraining devices such as a post and chain, or leash on an overhead wire are prohibited. Fence standards shall be adhered to.
- Only one (1) doghouse/dog run/pet enclosure shall be permitted per Lot.

Location:

- Dog runs, houses, and other pet enclosures shall be located in rear yards so as not to be visually intrusive.

Size:

- Dog houses shall not exceed sixteen (16) square feet of floor space and shall not exceed four (4) feet in height at the highest point.

Materials:

- Dog houses shall be finished to match the architectural style and colors of the residence.

Door Renovations and Additions

Doors shall not be installed or altered until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

Design:

- The Application must include the manufacturer's specifications including size, dimensions, color, etc. Information provided by the manufacturer's website or brochure is preferred.
- Provided the criteria referenced above is met, there is latitude for a number of styles, including a conservative design and amount of etching on the glass. Doors with decorative features such as grills are discouraged unless they specifically match the architectural style of home.
- Five acceptable "full view" style storm doors are illustrated here. Door 1 is the preferred style. Door 2 has a wide border. Door 3 is a style which can either have removable glass and screen panels or which can have self-storage of glass or a screen in the lower panel. Door 4 has a kick plate, while Door 5 has a wide border and a kick plate.

Front Doors:

- Replacement front doors, to include hardware, shall be similar to the original door provided by the home builder. Color changes are discouraged unless the new color is harmonious and compatible with the home and surrounding homes (See Exterior Painting and Surfaces).

Storm Doors and Screen Doors:

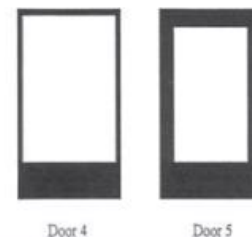
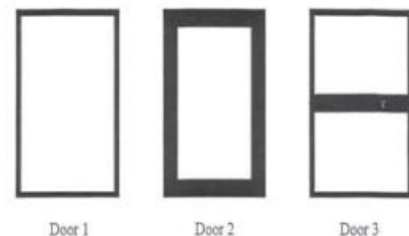
- Storm doors and screen doors do not require approval provided they meet the standards in the picture.

Garage Doors:

- Replacement garage doors shall remain similar and consistent with the style and color provided by the home builder. Color changes are discouraged unless the new color is harmonious and compatible with the home and surrounding homes (See Exterior Painting and Surfaces).

Other Doors:

- When doors are proposed in a new location, the Homeowner/Applicant shall be required to submit a



Acceptable Storm Door Examples

fully detailed and accurate drawing showing the door location, proposed trim, color, style, and all dimensions.

- Pet access doors (See Pet Access Doors).

Drainage

Any alteration to the existing on-Lot drainage shall not occur until the Homeowner/Applicant receives approval from the Association. (See General Review Considerations: Drainage on page 11 of this document)

Driveway Extensions, Expansions, and Parking Pads

Driveway modifications and parking pads shall not be installed until the Homeowner/Applicant receives approval from the Association.

Approval is not required for the replacement of an existing, approved driveway and/or parking pad of the same size, material, color, and location.

The following standards shall apply:

General:

- An accurate and to-scale drawing must be submitted.
- More than one driveway will not be approved on any Lot.
- There shall be no adverse aesthetic or drainage impact on adjoining Lots.
- Use of retaining walls shall be minimized.
- The widening, extension, or addition of turnarounds and parking pads shall be consistent with the overall image and character of the Community.

Location:

- A driveway/parking pad in the rear yard is not permitted. Therefore, any new driveway extension must not extend past the rear plane of the home and should not extend past the rear plane of the adjacent home.
- No parking pads are permitted in front of the home.
- The edge of any driveway or parking pad area shall be set back a minimum of three (3) feet from any adjacent property line to provide adequate separation from adjacent property and to permit space for landscaping. An exception will be considered when extending an existing driveway located less than three (3) feet from the property line so long as it does not negatively impact adjacent properties as determined by the Design Review Committee.
- The design and location shall minimize the removal of trees and significant vegetation.

- Driveway modifications and parking pads shall be located and designed to minimize their visual impact on neighboring Lots.
- Widening of the existing apron or any pavement in the existing right of way will not be permitted. Therefore, all pavement widening must transition back to the existing pavement prior to reaching the front property line (right-of-way line).

Size:

- Driveway extensions, expansions, and parking pads shall not exceed 300 square feet. On large Lots, over 20,000 square feet, where driveway extensions are not visually obtrusive, the Design Review Committee may consider extensions or expansions larger than 300 square feet.
- The size of the driveway extension shall be appropriate for the size of the Lot on which it is located.
- Driveway extensions, expansions, and parking pads shall be of a size and scale, which will complement the property and not become visually prominent.

Materials:

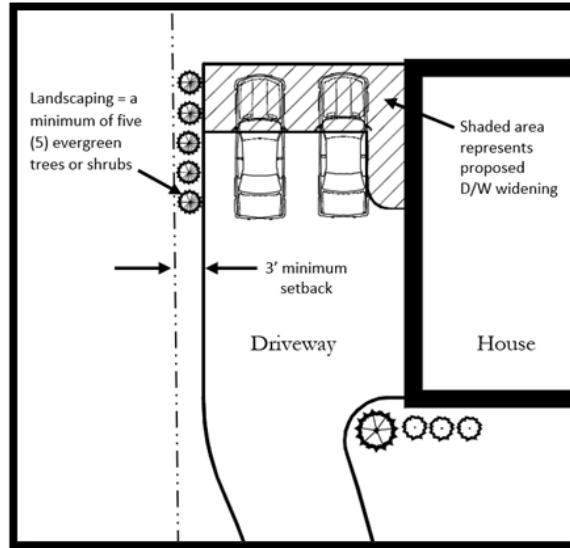
- Driveways shall either be broom-finish concrete, exposed aggregate concrete, asphalt, colored stamped asphalt, brick, or modular concrete pavers.
- Materials for driveways shall complement the architecture of the home.
- The surface material shall be of equal or greater quality than the existing.
- Driveway extensions, expansions, and parking pads shall be constructed on natural grade using the same material, color, and detailing as the original driveway or parking pad.

Design:

- Driveways shall be graded to fit and rest lightly in the landscape.
- Driveway culverts shall be neatly installed with flared end sections or end walls.
- Consideration will be given on a case-by-case basis to crescent shaped driveways on Lots wider than 100 feet and to circular driveways on Lots wider than 125 feet. In either case, upgraded materials and landscaping is required.
- Driveways shall only connect to the street where the existing apron and/or curb cuts have been provided. No modification to the apron shall be permitted.
- Driveway extensions shall end prior to reaching a trail, sidewalk, street right-of-way or an ingress-egress easement, and shall remain on the subject Lot. In other words, the new pavement must taper down to the existing edge of pavement prior to reaching a trail, sidewalk, or the right-of-way (property) line.

Landscaping:

- Parking pads shall be visually screened/softened from neighboring Lots as determined by the Design Review Committee where possible, with existing vegetation and/or combinations of evergreen plantings, at least three (3) feet high, and fencing. At a minimum, five (5) evergreen trees or shrubs at a planted height of three (3) feet shall be provided or an alternative design may be submitted for approval. See example below:



Maintenance:

- Approval is not required to resurface or seal an existing asphalt driveway.
- Grass or other vegetation growing in cracks must be removed.
- Driveways with vehicle leakages or other discolorations must be cleaned and/or resealed.
- A driveway showing deterioration such as, large cracks, loose material or alligatored areas must be repaired or replaced.

Exterior Decorative Objects/Statuary

Exterior decorative objects/statuary do not require approval from the Association provided they meet the following standards:

Approval is not required for:

- Exterior decorative objects/statuary that are less than thirty-six (36) inches in height and eighteen (18) inches in width and depth.
- Exterior decorative objects/statuary that are unpainted stone, wood, soapstone, marble, or other natural materials in earth tones.
- Potted plants. (see "Plant Containers")
- A reasonable number of objects appropriate to the size and scale of the front, side, and rear yards.

Approval is required for:

- Exterior decorative objects/statuary that exceed thirty-six (36) inches in height. Objects eighteen (18) inches in either width or depth will be considered on a case-by-case basis. The review of oversized exterior decorative objects/statuary will take into consideration the size, color, scale, location, compatibility with architectural and environmental design qualities and visual impact on adjoining Lots.

General:

- The homeowner is responsible for maintaining any exterior decorative objects or statues placed on their Lot in good condition and repair.
- For decorations associated with a holiday, see “Holiday/Seasonal Decorations and Lighting” standards.
- Non-lighted, seasonally appropriate door wreaths are permitted.

Location:

- Exterior decorative objects/statuary shall be integrated into mulched landscaping beds, patios, decks, and porches so that the results are tasteful and discrete. Other locations may be considered on a case-by-case basis.
- Exterior decorative objects/statuary placed in driveways shall not be located in a manner that impedes access to the garage.
- Exterior decorative objects/statuary are prohibited on adjacent property including Open Space/Common Area.
- Exterior decorative objects are prohibited within the front yard in any area encumbered by utility easement(s).

Exterior Painting and Surfaces

Any exterior painting or surface alteration which includes a color, material, or style change shall not commence until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Exterior colors shall remain in accordance with the color palette used by the original home builder to the extent such color palette remains commercially available for use. This requirement includes, but is not limited to siding, trim, roofing, and other associated structures.
- A color rendering/graphic representation of the home and / or associated structure(s) shall be submitted and shall accurately depict the proposed color change. A color sample (photo, brochure, or physical) with the name of the color and manufacturer shall also be submitted.

- Painted surfaces may only be painted; stained surfaces may only be stained; and unstained surfaces (brick, siding, etc.) may only be replaced with like material and may only be left unpainted or unstained.

Materials/Color:

Exterior materials and colors were originally installed by the builder to present a uniform architectural theme for the community. Any partial replacement of roofing, siding, trim, etc., shall match the existing. In the event a material or color is not available or if there is a problem with any material, the Design Review Committee may approve a substantially similar alternate material.

Fencing

Fencing shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Gates, whether double or single, shall be compatible and complement the design, material, and color of the associated fence and shall not exceed a width of eight (8) feet when located in the front side plane of the home.
- Only single gates with a width of four (4) feet are permitted to open onto Open Space/Common Area. Double gates are not permitted on fences that border Open Space/Common Area.
- Fences shall be installed on property lines with the understanding that a slight setback of up to three (3) inches is acceptable. An exception to this standard will be considered on a case-by-case basis by the Design Review Committee for corner Lots and/or where wooded areas or builder-installed trees are desired to be maintained or when other constraints are presented to the satisfaction of the Design Review Committee.
- Double run fencing (aka “back-to-back” fencing) is not permitted. For example, fences that are up against, alongside, or parallel to another fence are not permitted.
- Boundary fencing being used as pool fencing shall meet all requirements for boundary fencing with the exception that wire mesh shall be placed externally if required to conform to Loudoun County requirements.
- Invisible fences may not extend into Open Space/Common Area.

Location:

- Boundary fencing is not permitted in front yards.
- Fencing of side yards may not extend beyond ten (10) feet from the nearest front façade of the home.
- Fencing is permitted around the perimeter of Lots to enclose the Lot and to define the boundary between neighbors, private Lots and/or Open Space/Common Area.

- Corner Lots shall not be permitted to have fences in front yards (see Exhibit C) with the exception that corner Lot fences may be permitted to extend into the front yard on a case-by-case basis as determined by the Design Review Committee. To further clarify, all corner Lots have two (2) front yards; the front yards are those areas adjacent to the two (2) streets.
- **Fences on Pipestem Lots:** The Design Review Committee may specify the placement of fencing on pipestem Lots to ensure that views to adjacent homes are not overly impacted. This may include moving a fence out of the “front yard” created by the pipestem driveway. In general, the fence shall not be permitted in a front yard and may be restricted in the yard which is adjacent to the pipestem. The applicant is encouraged to seek assistance from the Design Review Committee prior to filing a fence application on a pipestem Lot.

Design:

- The side of the fence facing the street or exterior of the property shall be a finished side (not showing cross framing/support rails).
- Fences shall smoothly transition with grade.
- Chain link and unsupported wire mesh/box wire fencing is prohibited except when used for construction purposes on a temporary basis.
- Split rail and stockade fences are not permitted.

Curb and Gutter Sections (Picket Fencing)

The approved fence style for Lots within curb and gutter sections is picket.

In addition to all general standards, the following standards must be met:

Style/Size:

- The style of fence permitted shall be a spaced-picket fence. There are several acceptable styles of picket fencing permitted in Willowsford which can be found in Exhibit D of this document. Alternative designs that meet the general standards may also be considered.
- The pickets shall be of uniform height; scalloped or arched pickets shall not be permitted.
- Flat top and “dog-eared” style pickets are not permitted on wood fences. However, a “dog-ear” design on a vinyl fence is permitted.
- Boundary fences shall be approximately forty-eight (48) inches in height to the top of the pickets. The posts may extend up to fifty-four (54) inches in height.
- All fence posts shall have pre-finished gothic tops or post caps. Post caps shall be New England (or similar Architectural style) or Gothic.
- Pickets may be spaced a maximum of three (3) inches apart and a minimum of 1.7 inches.
- Pickets shall be open with no top cap boards.

Materials/Color:

- The material shall be cedar or pressure treated lumber.
- High quality, white vinyl fencing will be considered on a case-by-case basis.

- When pressure treated lumber is used, the fence shall be painted or stained opaque white. Off-white or other colors are not permitted.
- If cedar is used, the fence may be permitted to weather naturally. For additional requirements and information, please refer to the “Policy Regarding Cedar Fencing” found in Exhibit F of this document. No other colors are permitted.

Ditch Street (Curb Less) Sections (Four-Board Fencing)

The approved fence style for Lots on ditch streets is four-board.

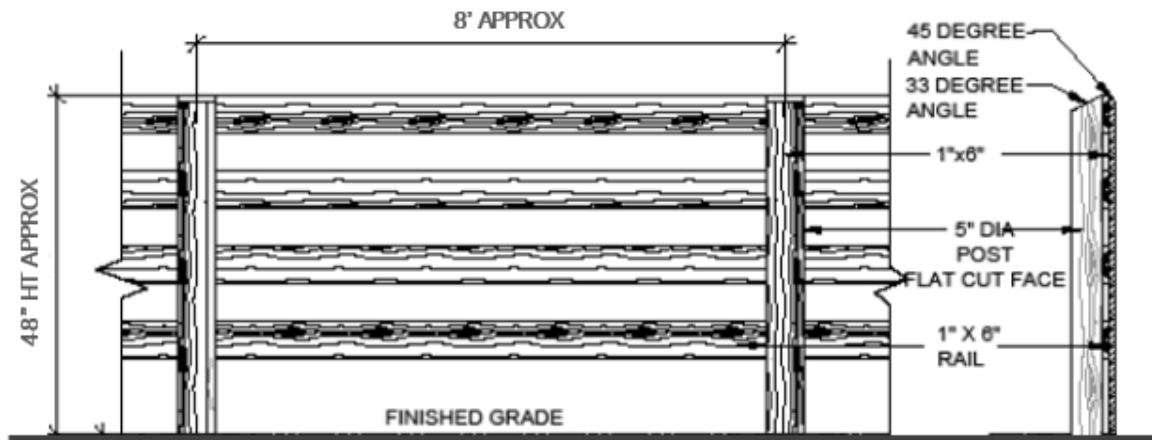
In addition to all general standards for fencing, the following standards shall be met:

Style:

- Boundary fences shall be four-board fencing approximately forty-eight (48) inches in height and shall include ½ round or 3/4 round posts. (See picture on next page for example)

Materials/Color:

- The preferred material shall be rough-sawn oak, cedar or pressure treated lumber may be permitted on a case-by-case basis.
- The fence shall be finished in the traditional black Premium Asphalt Fence Paint or Black Latex Satin Paint consistent with four-board fencing provided within Willowsford. No other colors are permitted.
- Black wire mesh (with a grid of approximately 1 inch x 2 inches, 2 inches x 3 inches, or 2 inches x 4 inches) may be used on four-board fences and inconspicuously mounted on the inside of the fence for containment. Wire mesh may be added to the outside of the fencing if installing a pool. Any plastic ties used to attach the mesh shall be colored to match the fence.



Pool Fencing

Pool fencing is used to enclose the immediate area surrounding pool edges.

In addition to all general standards for fencing, the following standards shall be met:

Size:

- Pool fences shall meet Loudoun County requirements for pool enclosures and be a minimum of four (4) feet and shall not exceed six (6) feet in height.

Design:

- Pool fencing will only be considered with a pool application.

- Fences for pool enclosures shall be open black powder coated aluminum fences, integrally designed with the pool installation.
- As an internal pool enclosure fence, the black powder-coated aluminum fencing shall have one or two top rails and no ornamentation and will be considered on a case-by-case basis.
- Pool enclosure fencing must be set back at least eight (8) feet from a boundary/property line.

Landscaping:

- Landscape screening shall be provided to soften the view of the pool, fence, or decking from adjoining Lots.

Firewood Storage

Willowsford Conservancy offers firewood for sale and delivery to residents. The purchase of local firewood harvested from Conservancy open space reduces the spread of pests and diseases which negatively affect the local forests. To purchase firewood, please visit the Willowsford Conservancy website at www.willowsfordconservancy.org.

- Firewood shall be stored in such a manner and quantity as to avoid adverse visual impacts for adjoining Lots or Open Space/Common Area. No firewood shall be stacked on Open Space/Common Area.
- Quantity is limited to a nominal one (1) cord, defined as 4 feet H x 8 feet L x 4 feet W.
- Firewood shall be kept neatly stacked and is restricted to the homeowner's rear yard and shall be at least one (1) foot from any Lot line.
- The use of brightly colored tarps or covers is not permitted. Where such a cover is required, the color shall be a muted brown or tan and shall be securely affixed to the wood pile.

Flagpoles

Free-standing flagpole(s) shall not be permanently installed until the Homeowner/Applicant receives approval from the Association.

Flagpoles which measure approximately six (6) feet in length and are attached to the side of the home at an angle do not require prior approval if they are attached on either side of the garage door trim, front door trim, or on a front porch or stoop support column.

Alternative locations may be considered if harmonious and compatible with its surroundings as determined by the Design Review Committee.

The following standards shall apply:

General:

- Permanent, free-standing flagpoles shall be installed and maintained in a vertical position.
- Only one (1) free-standing pole is permitted per Lot.
- Only two (2) attached flagpoles (measuring six (6) feet in length) are permitted.

Location:

- Free-standing poles are restricted to front yards and shall be set back at least ten (10) feet to any adjacent Lot line.

Size:

- The height, color, and location of the flagpole shall be consistent with the size of the property and scale and design qualities of the home. In any case, the maximum height of the flagpole shall not exceed twenty-four (24) feet.
- The flags are limited to a maximum of 3 x 5 feet and shall be kept in good repair.

Display:

- One (1) residential-sized United States and/or Commonwealth of Virginia flag may be displayed in a manner consistent with Virginia and Federal law; provided the Design Review Committee may impose additional restrictions relating to the placement, duration and manner of placement or display of the flag on a Lot.
- Permanent flagpoles may only display United States and/or Commonwealth of Virginia flag.
- Attached flagpoles may also be used to display the United States and/or Commonwealth of Virginia flag. They may also display seasonal decorative flags during an appropriate timeframe, school flags, and flags of any active branch of the armed forces of the United States or any military valor or service award of the United States.

Garage Additions and Extensions

Garage additions and extensions shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Garage additions and extensions shall be the same as or compatible with the architectural characteristics of the existing home, and the neighborhood setting. Detached garages are not permitted.
- Roof pitches for garages additions and extensions shall match or be compatible with the roof slope on the existing home. Where two (2) or more roofing or siding materials are used on the existing home, the material shall match the abutting surface unless the plane (slope or direction) of the new surface changes. Transitions between materials shall be logical and appropriate.

- If changes in grade or other conditions which will affect drainage are needed, they shall be clearly shown in the application submission. Generally, approval will be denied if adjoining Lots are determined to potentially be adversely affected by changes in drainage. Drainage in swales or sheet flow shall not be restricted and/or blocked.
- Any garage additions or extension shall minimize removal of existing trees and/or landscaping. Supplemental trees and/or landscaping may be required to compensate for the approved removal of trees/landscaping or to provide appropriate screening where necessary.

Location:

- Additional setback requirements may be stated for improvements that may be individually or specifically referenced in these standards in the following pages, but at a minimum the improvement shall meet applicable governmental setback requirements and may not be constructed across Building Restriction Lines (BRL).
- Significant additions forward of the front face of the home are generally not permitted. Impact to the existing streetscape, views to the homes of adjacent neighbors and adjacent sight lines must all be considered.

Size:

- The improvement shall be appropriately proportioned and otherwise compatible with the existing home.

Materials:

- Roofing materials shall match that of the home; siding and trim shall match the home in material, size, and style.
- Windows and doors shall match (or be compatible with) those used in the existing home and shall be positioned in a manner which relates well to the location of existing windows and doors on the home.

Color:

- The colors shall match or complement the color scheme of the existing home.

Generators (Permanent)

Generators shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- For all generators, the applicant shall demonstrate a plan to minimize noise and visibility impacts to adjacent neighbors. Landscape softening or architectural screening shall be provided to reduce the visual impact from adjacent properties or street.

- See the following Example:



Location:

- The location shall be along the edge of the home in the rear yard, however, an exception to locate the generator along the edge of the home in the side yard will be considered on a case-by-case basis. In no case shall the equipment be located in the front or side yard within eight (8) feet of the front corner of the home.
- All landscaping and solid screening/softening must be at minimum of eighteen (18) inches from the adjacent property line.

Greenhouses

Greenhouses shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Only one (1) greenhouse shall be permitted per Lot.

Location:

- The preferred location of greenhouses is near the rear of the Lot. However, other locations may be considered if that location minimizes the visual impact to neighboring Lots, streets, or Open Space/Common Area as determined by the Design Review Committee.
- Greenhouses shall be located in accordance with Loudoun County regulations, but in no case shall be any closer than ten (10) feet from adjacent property lines. On corner Lots, greenhouses shall be set back at least twenty-five (25) feet from any property line (right of way) adjacent to a roadway.

Size:

- Greenhouses shall not exceed eighty square feet on Lots .5 acre or less and shall not exceed 160 square feet on Lots over .5 acre.
- The Design Review Committee may consider structures greater than 160 square feet on a case-by-case basis based on the specific use, location, design, screening, etc.
- Peak height shall not exceed thirteen (13) feet including the foundation. If a foundation structure is required, the Homeowner/Applicant shall provide all details. Greenhouses cannot be supported by visible blocks.

Design:

- Plastic and tubular greenhouses are not permitted.
- The architectural design, materials, and colors shall be compatible with the homeowners' home.
- Framing shall be white, bronze, or an alternative color approved by the Design Review Committee. Silver is not permitted.
- Transparent material shall be glass, plexiglass, or other rigid material.
- The homeowner shall be required to provide elevation view drawings showing all four (4) sides of the greenhouse. Elevation drawings shall be labeled to indicate dimensions, materials, features, and colors.

Gutters and Downspouts

Replacement of gutters and downspouts using the same materials originally used by the Builder does not require approval from the Association. Alternative designs/materials shall not be installed until the Homeowner/Applicant receives approval from the Association.

Splash blocks and/or river rocks, as referenced below, do not require approval provided they meet the following standards:

General:

- Downspouts shall be brought to grade and splash blocks and/or river rock up to ten (10) square feet shall be provided. River Rock designs greater than ten (10) square feet require an application to be submitted for review.
- Buried downspout extensions shall be installed in such a manner to adequately manage runoff, according to correct engineering practices and Loudoun County codes. Buried downspout extensions must not create and / or exacerbate a drainage problem.
- Gutter systems which include flush mount caps/hoods/rain guards do not require approval.

- Gutter systems which include caps shall have a simple design with a low profile and be finished in the same colors as the gutters and downspouts or shall not be visible.

Location:

- Gutters and downspouts shall be installed in such a manner as to not adversely affect drainage onto adjoining Lots or Open Space/Common Area.
- Piping used for additional drainage purposes shall be buried underground and directed away from adjacent Lots.
- Extensions which are above ground and visible may not exceed two (2) feet; underground extensions shall stop at least one (1) foot inside the property line

Color:

- Visible extensions shall be dark green, brown, or black.
- Splash blocks shall be dark green, brown, or unpainted concrete.
- Gutters and downspouts shall be painted to match existing gutters and downspouts, the color of the surface to which they are attached, or the existing trim color.

Holiday/Seasonal Decorations and Lighting

Approval is not required for temporary holiday/seasonal decorations and lighting. Holiday/Seasonal decorations and lighting shall meet the following standards, and any Holiday/Seasonal decorations and lighting that does not meet these standards shall be in violation of these standards.

- Holiday/seasonal decorations and lighting shall represent the holiday/season in effect during the time of the display.
- Holiday/seasonal decorations and lighting may be installed or placed on a Lot no more than forty-five (45) days in advance of the holiday and shall be removed no later than twenty-one (21) days after the holiday.

Location:

- All Holiday/seasonal decorations and lighting shall be installed within the boundaries of a homeowner's Lot with the exception that holiday lights are permitted on street trees on, or adjacent to the homeowner's Lot.
- Power cords shall not cross over pathways, Open Space/Common Area, or landscape maintenance easements.

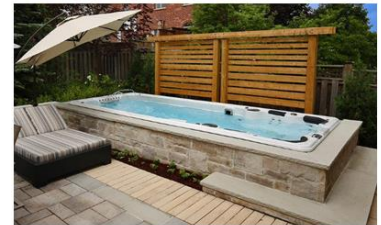
Hot Tubs and Swim Spas

Hot tubs and swim spas shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

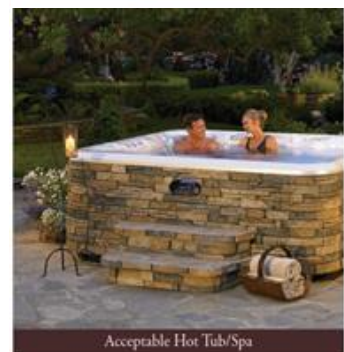
General:

- Hot tubs and swim spas shall be integral or immediately adjacent to a deck or patio. Recessed installations are preferred for hot tubs and required for swim spas.
- Mechanical equipment, pipes, and wiring shall be concealed and the understructure of hot tubs or swim spas which are recessed into aboveground decks shall be screened.
- Swim spas which are built into or adjacent with a pool project shall meet all standards for a swimming pool (see Swimming Pools).



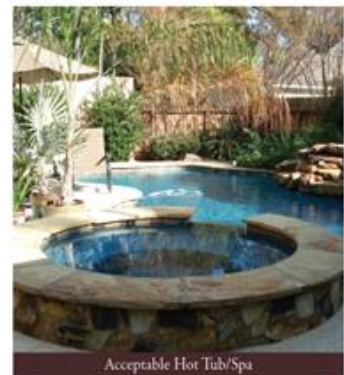
Location:

- Hot tubs and swim spas shall be located in the rear yard away from adjacent Lots so that their use, presence and the noise of mechanical equipment does not adversely affect adjacent Lots.
- Hot tubs and swim spas shall be set back a minimum of ten (10) feet from adjacent property lines.
- Swim spas shall be recessed into a deck or patio and no more than two (2) feet of its height may extend above the surface of the deck or patio. All sides shall be recessed and/or enclosed however, the Design Review Committee will consider one or two sides being open when they are facing open space, are not readily visible to neighbors and / or when the sides of the swim spa are attractive and match or are compatible and harmonious with the surrounding patio or deck materials.



Size:

- Hot tubs shall not be longer than ten (10) feet in length on any one side and may not exceed 100 square feet.
- Swim spas shall not exceed eighteen (18) feet long and eight (8) feet wide. Their height shall not exceed five (5) feet.



Materials:

- Hot tubs and swim spas shall be compatible with the materials of the home and surrounding features.

- A plain concrete slab beneath a hot tub or swim spa is discouraged because plain concrete is not an acceptable patio material. Therefore, if a plain concrete slab is proposed then it shall only be the size of the perimeter of the hot tub or swim spa and a statement shall be included with the application noting that the concrete pad will be removed along with a removal of the associated hot tub or swim spa.

Color:

- Hot tubs and swim spas shall be compatible with the colors of the home and surrounding features.
- Colorful lights built into a hot tub or swim spa shall be turned off when not in use.

Landscaping:

- All hot tubs and swim spas (including any mechanical equipment) shall be softened from public view, including adjacent neighbors and street frontage. This can be accomplished via landscape softening and/or construction of privacy screening to match deck screen standards. The homeowner may also indicate if the location is already fully screened and/or not visible.
- The privacy screen and/or landscaping shall be at least two (2) feet above the top of the hot tub or swim spa at the time of implementation.

Automated Hot Tub covers:

- Only flat automated hot tub covers will be considered. The cover shall be closed when not in use.



HVAC Unit Location and Screening

HVAC units do not require approval from the Association if they are installed in the same exact location of the existing base pad or mounting bracket. If the type of pad or mounting is revised or changed, then it shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Units shall remain in their original location with the same base or mounting when possible.
- Window air conditioning units are prohibited.
- Equipment shall be screened from view of any other private or public property by architectural treatment, landscaping, or both.
- Screen fences or walls, if used, shall be compatible with the building architecture. Prefabricated screening enclosures are not permitted.

Location:

- Exterior HVAC equipment shall be located inconspicuously; side and rear yard locations are preferred. HVAC equipment is to be located on pads at ground level. However, permission may be granted on a case-by-case basis for the use of steel, wall-mounting brackets.
- All HVAC equipment and / or screening / softening must be at minimum of eighteen (18) inches from the adjacent property line.

Size:

- Size will be evaluated on a case-by-case basis.

Landscaping:

- Landscaping is the preferred method of screening; however, screen fences or walls may be permitted in space constrained locations.
- Landscape screening with plants having additional height at the time of planting shall be required.
- The primary view shall be screened with a tall evergreen shrub or small evergreen tree which has a height equal to or taller than the HVAC equipment.

Irrigation

Irrigation does not require approval from the Association provided it meets the following standards:

General:

- Homeowners shall be responsible to remedy and / or repair any adverse drainage conditions onsite or on neighboring Lots or common areas caused by the irrigation system.
- The Irrigation system shall not spray water on neighboring Lots or common areas.
- Homeowners shall be responsible to remove any part of the irrigation system found to be incorrectly installed in any area encumbered by easements, adjacent Lots, right-of-way or other encumbrances which prohibit said irrigation system. Irrigation systems shall be installed and operated with timers and/or sensors to avoid overwatering and excessive runoff into streets or on neighboring Lots.

Location:

- Any irrigation equipment shall be installed to be as inconspicuous as possible within the front yard.
- Controllers, valves, and other appurtenant equipment shall be installed in underground boxes/vaults or screened from view.
- Residential irrigation systems may not be installed in public street rights-of-way, Open Space/Common Area, or beyond the boundaries of the homeowner's Lot.

Landscape Design, Trees, and Plants

Landscaping shall not be installed until the Homeowner/Applicant receives approval from the Association, except as noted below.

Approval IS NOT required for the following modifications:

- Replacement of previously approved plants that are dead or diseased.
- Planting of annuals or perennials in existing beds.
- Installation of new planting beds less than six (6) feet wide around the perimeter of the home's foundation, provided that the plants (no vegetables) installed have a maintained/mature height of less than eight (8) feet and follow all other applicable requirements outlined in the Design Standards.
- Installation of new planting beds less than six (6) feet wide adjacent to the existing walk from the driveway to the front of the home, provided that the plants (no vegetables) installed will have a maintained/mature height less than three (3) feet and follow all other applicable requirements outlined in the Design Standards; and

For all other landscaping, the following standards shall apply:

General:

Landscaping is required for all development within Willowsford and may include deciduous, evergreen, and/or ornamental trees, shrubs, groundcover, perennials, and seasonal color (annuals).

- Landscaping shall consist of trees, shrubs, and groundcovers to create an attractive, well designed, cohesive landscape.
- All tree planting shall be setback a minimum of five (5) feet from all property lines. Exceptions may be made for smaller, narrower trees.



- Plants shall be selected based on their ultimate height, width, and growth in relation to the space where they will be planted.
- The use of appropriate, native species are highly encouraged throughout the Willowsford Community.
- No tree, hedge or other landscape feature shall be planted or maintained in a location which obstructs sightlines for vehicular traffic on public streets or private streets serving the Lot.
- To aid in water conservation and keep excessive weed growth controlled it is recommended that tree, shrub, and planting beds be mulched with shredded hardwood or pine bark mulch in black or brown color.
- Widespread use of stone or other unnaturally mulched areas is prohibited.
- Attractive plantings shall be provided near all home fronts and sides that face streets and at the exposed views of highly visible Lots. Landscaping on highly visible Lots shall include evergreen softening of all exposed foundation walls especially where grade drops from the first floor to a walkout condition.

Front Yard Landscaping

General:

Font yard plantings shall meet the following requirements:

- Foundation plantings shall be provided along the front façade, excluding where there are doors or driveways/garage entrances, walkways, or other existing constraints.
- In the front yard landscape, a minimum of three (3) layers of landscaping along the front foundation shall be provided where possible.
- The first layer, planted along the foundation, shall be predominantly evergreen and planted a minimum of twenty-four (24) inches in height and shall be spaced a maximum of forty-two (42) inches on center.
- The second layer shall include accent landscaping planted at a minimum of fifteen (15) inches in height and is required along a minimum of 50% of the width of the façade.
- The third layer shall include accent landscaping, seasonal color, and/or groundcovers and is required along a minimum of 35% of the width of façade.
- Foundation plantings shall extend around the front corners of the home where possible.
- Small evergreen trees and/or large shrubs (such as holly or arborvitae) measuring thirty-six (36) inches in height at the time of installation should be installed at all prominent architectural corners of the home. The homeowner may submit an alternative design that achieves the goal of softening the corner while providing variety in the type and height of the foundation plants.
- Simple plantings with masses of similar shrubs, groundcovers or perennials shall be used to create a layered, well integrated landscape.

High Visibility Lot Landscaping

- The Design Review Committee may require landscape screening to soften and/or conceal the visual impact of any improvement as a stipulation of approval for high visibility Lots.
- Landscaping on high visibility Lots shall include evergreen softening of all exposed foundation walls, especially where grade drops from the first floor to a walkout condition.
- Attractive landscape planting shall be provided near all building fronts and sides that face streets and at the exposed views of high visibility Lots.

General Landscape and Lawn Maintenance

See “General Property Maintenance Standards” in this document for specific standards for lawn and landscape maintenance.

Landscape Screening/Softening

Landscape screening/softening shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- The Design Review Committee may require landscaping to screen or soften the impact of any modification as a stipulation of approval for a project especially for, but not limited to, high visibility Lots.
- A hedge is defined as a repetitive mass linear planting of ten (10) or more shrubs, forming a solid, living landscape barrier.
- Hedges located forward of the front plane of the home shall not be permitted to grow in excess of three (3) feet and shall not restrict sight lines along a roadway.
- When installing a landscaped-screened barrier or border planting, Virginia native species are recommended. The recommendation is to diversify plantings to avoid installing a single variety (monoculture) of long (more than 8 trees in a line) linear rows of a singular species. For quantities (greater than 8 as noted above), the planting shall be diversified so that a single species shall not represent more than 80% of the total trees in the proposed landscape screen.
- Evergreen plantings are the preferred method of softening where it is necessary to mitigate unappealing views.
- Landscape screening shall be subtle in appearance and not draw attention to the unattractive element.
- For clarification, when landscaping is specified to soften a proposed structure, the landscaping is not specifically required to be a full screen, but rather it is intended to soften visual impacts.

Meadows/Fields

- Meadows and fields are a significant part of the character of Loudoun County. In many locations, meadows/fields are maintained as part of the streetscape and Open Space/Common Area features of the community.
- Lots of one (1) acre or more may choose to incorporate meadows/fields as part of their landscaping, where permitted, with the approval of the Design Review Committee.
- An alternative to meadows/fields are native beds or perennials, grasses, shrubs, and trees for easy to manage and appealing habitat for wildlife. For more information visit the Home Habitat page on the Willowsford Conservancy website www.willowsfordconservancy.org.
- Meadows/fields shall be maintained in the rear yard only, mowed at least once per season, and shall not begin closer than thirty (30) feet from the rear of the home.

Prohibited Plants

- Plants with undesirable attributes (such as spreading bamboo) shall be avoided when selecting plants for landscaping. These attributes include the following:
 - High susceptibility to diseases and/or pests (ash trees)
 - Surface roots
 - Highly Invasive plants and plants that are toxic to the environment and wildlife (examples include: Japanese Barberry, Chinese Privet, Norway Maple, Nandina, Japanese Honeysuckle, English Ivy, and Chinese Wisteria). For more examples visit the Willowsford Conservancy website www.willowsfordconservancy.org.
- **It is the Homeowner/Applicant's responsibility to ensure that plants with undesirable attributes are not planted. Approval of an application does not relieve the Homeowner/Applicant of this requirement.**
- Resources for selecting plants and avoiding plants with undesirable attributes include: "Invasive Alien Plant Species of Virginia" by the Virginia Department of Conservation and Recreation; and Virginia Cooperative Extension Service by various publications.

Street Trees

General:

- Street trees shall be preserved in accordance with the Founders' Plan for the Section of the community in which a Lot or property is located.
- Street trees may not be removed and shall be replaced by the homeowner if they are neglected or damaged by the homeowner.

- The landscape design for each individual Lot shall allow for and retain these trees for the benefit of the community streetscape.
- Landscape borders, walls, ground cover, and other changes to street trees or mulch beds is not permitted.

Location:

- In most circumstances, street trees will be located on the homeowner's Lot.

Tree Preservation/Natural (Wooded) Areas (Tree Removal/Pruning)

Removal of trees, mechanized vegetation removal, brush clearing, or grading shall not occur until after the Homeowner/Applicant receives approval from the Association.

Selective hand clearing and pruning of existing vegetation is permitted without approval to remove dead tree branches or to remove poisonous plants or noxious weeds.

The following standards shall apply:

General:

- Natural (wooded) areas shall be preserved in their natural state. All requirements of the Governing Documents and Design Standards for the Association must be adhered to.
- Grading or parking of equipment or vehicles, stockpiling of materials, or deposition of sediment, topsoil, fill, or dumping any materials, liquids, or chemicals is prohibited.
- No toxic materials shall be stored within 100 feet of vegetative areas. Toxic materials include, but are not limited to; wash out from concrete trucks, motor oil, paints, thinners, etc.
- No objects shall be nailed to trees.
- To the extent possible, necessary tree and vegetation removal and/or pruning shall be limited. A large area of tree and vegetation clearing intended to convert a wooded area on the homeowner's Lot into a maintained lawn is prohibited. Any alteration of said wooded area shall be done in a manner which limits tree and vegetation removal and results in an area that remains natural in appearance.
- When approval for tree removal or pruning is granted in accordance with these Design Standards, the homeowner, or a representative of the homeowner (other than the company performing the work), must be on site while the work is being performed to ensure it is conducted as approved by the Association. It is not acceptable to simply instruct a contractor to "clear out" or "clean up" an area.
- Any tree removals or pruning which requires prior approval from the Association in accordance with the provisions contained herein must be performed by a licensed, bonded, and insured tree removal company.
- A homeowner may request removal of a tree that is dead, dying and/or hazardous with the submission of a report from a certified arborist confirming the state of the tree to be dead, dying, and/or hazardous.

- Healthy tree removal is not permitted but may be considered on a case-by-case basis where the homeowner can demonstrate extenuating circumstances. Replacement trees are required and shall generally be replaced one-for-one with a similar type of native tree, (shade, evergreen, or understory).
- The minimum replacement size for a shade tree shall be two (2) inch caliper, the minimum size for an evergreen shall be 6 to 7 feet in height and the minimum size for an understory tree shall be 6 to 7 feet in height.

Groundcover and Mulch

Groundcover shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Conversion of existing turf areas to a different type of groundcover requires approval from the Association.
- Low maintenance, non-invasive vegetative groundcover plantings are encouraged.
- For examples of native vegetative groundcover plans, visit the Home Habitat section of the Willowsford Conservancy website www.willowsfordconservancy.org.
- Artificial turf in the rear yard only shall be limited in use and size and shall be reviewed on a case-by-case basis based on the size and topography of the Lot. The replacement of a large lawn (turf grass) area in favor of artificial turf is not permitted.
- Only high quality, artificial turf shall be permitted.

Materials:

- Black, brown, or natural double-shredded hardwood mulch is permitted.
- River jacks or other landscape grade and natural-appearing stones shall be limited in their use and will be reviewed on a case-by-case basis.
- White granite stone and other unnatural color stones are not permitted as groundcover or mulch.
- Lawns shall be composed of a triple blend fescue mix of grass species. Bermuda, Zoysia, or other similar invasive or warm season grasses are not permitted.

Vegetable Gardens

Vegetable gardens do not require approval from the Association if they are less than 100 square feet, located between the rear line of the home and the rear property line and meet the standards noted below.

Vegetable gardens which exceed 100 square feet shall not be installed until the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Raised beds and all associated features, shall be neatly maintained throughout the growing season, including removal of all unused stakes, trellises, weeds, and dead growth.
- If permanent framing for a roof and mesh-type animal exclusion fencing is proposed, then the size of the structure is limited to 160 square feet. See height requirements below.

Location:

- Vegetable gardens are not permitted in front yards. Vegetable gardens located in side yards may require additional screening on a case-by-case basis.
- Vegetable gardens shall be set back a minimum of five (5) feet from any property line and shall not be located in areas highly visible to adjacent roadways.

Size:

- Black mesh-type animal exclusion fencing is permitted around the immediate perimeter of the garden to a height not to exceed seven (7) feet, provided the fencing is no closer than fifteen (15) feet to adjoining Lots.
- Vegetable gardens may not exceed 25% coverage of the rear yard. This includes walkways between individual gardens when more than one (1) bed is proposed. The height of any raised bed shall not exceed eighteen (18) inches.

Materials:

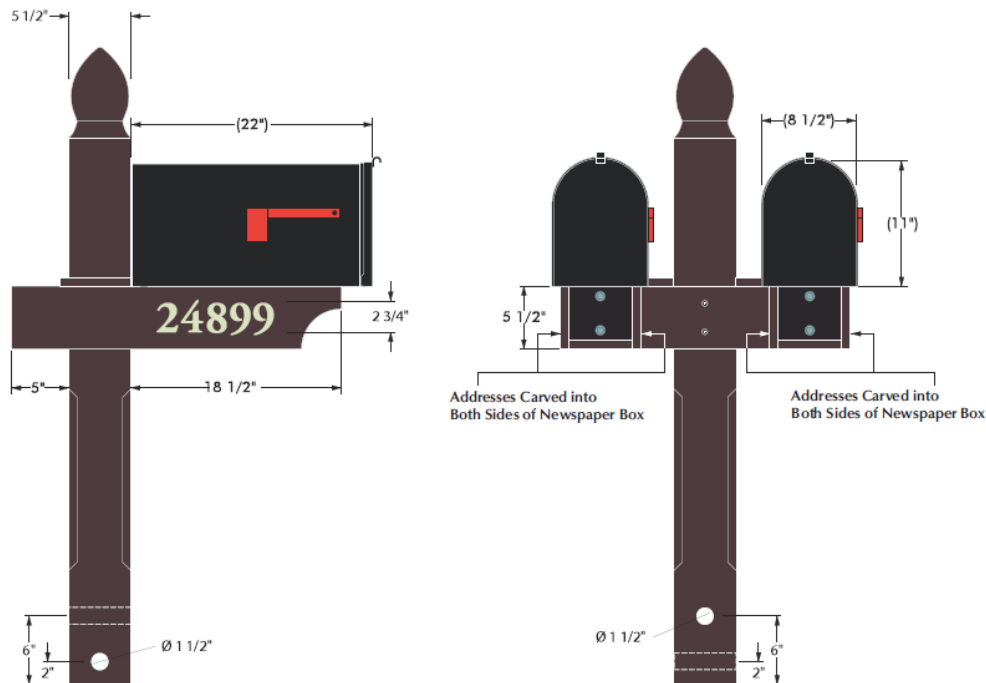
- Borders shall be constructed with high quality materials including wood, brick, natural stone, or landscaping quality concrete products.
- Other materials will be considered on a case-by-case basis and approved where the Design Review Committee finds that said materials are of a high quality and will match the architecture of the home.

Mailboxes

Mailboxes and/or posts do not require approval from the Association provided they meet the following standards:

General:

- Any new or replacement mailbox and/or post shall be constructed in accordance with current USPS standards. Quail Run Signs designed and installed all mailboxes in Willowsford and can assist with replacement or repair. Please contact them directly at 540-338-8412 if repairs are needed for your mailbox.
- The mailbox and/or post shall match the color, style, and materials of the existing mailbox and post (See Exhibit H for Stain Information)
- By USPS regulatory standards, your mailbox should be 41" to 45" from the ground or street



surface and up to the inside floor of the mailbox. Your mailbox door should be set 6" to 8" back from the front face of the curb or the edge of the road. If you do not have a raised curb, please contact the local postmaster for proper guidance. *

- Ornamentation of any sort is not permitted on mailboxes, posts, or the ground surrounding the mailbox.
- No signage of any type is permitted other than signage identifying the name and/or address information.

*As of 5-8-2023

Outdoor Furniture

Outdoor furniture does not require approval from the Association provided it meets the following standards:

General:

- Furniture left outdoors shall be maintained in a neat and attractive manner and shall be of a scale, color and style which does not detract from the appearance of the area.
- Any outdoor furniture shall be consistent with furniture that is intended for outdoor use.

Location:

- Outdoor furniture (permanent) does not require approval if associated with a deck or patio in the rear of the home or is located on a porch in a limited, neat, and attractive manner. Storage of furniture shall be hidden from view.
- No furniture shall be allowed in the front of the home other than appropriate porch furniture including porch swings, which shall be kept on the porch only.
- Chairs and patio furniture shall not be placed in driveways or front lawns.

Outdoor Kitchens and Grills

Outdoor kitchens and grills (including smokers and other similar cooking apparatus) considered to be fixed in place and non-mobile, shall not be installed until after the Homeowner/Applicant receives approval from the Association.

Temporary, non-permanent barbeque grills do not require approval from the Association provided the following standards are met:

- Small (less than 66" W x 60" H x 30" D) temporary (portable, mobile, and non-permanent) barbeque grills (including smokers) are permitted. Grills shall be stored in accordance with the Willowsford Community Charter. They may not be stored in driveways, front yards, or in public sight when not in use and shall adhere to the location and setback requirements noted below.
- Patio pavers may be utilized to support an outdoor grill if the pad is no larger than six (6) feet by six (6) feet.

The following standards shall apply:

General:

- The design should be compatible and complement the existing features of the home. Outdoor kitchens and grills will be considered only if they are integrated into an existing or simultaneously planned patio or deck.

- All equipment (grill, doors, appliances, etc.) shall face internally and shall not be in view of adjacent side Lots or Open Space/Common Area. All mounting equipment, wires, and other related items associated with outdoor kitchens and grills (such as propane tanks) shall be hidden from view.

Location:

- Outdoor kitchens and grills are only permitted in rear yards.
- Outdoor kitchens and grills shall be integrally designed into a patio, terrace or deck and located so that they do not adversely affect adjoining Lots.
- Outdoor kitchens and grills shall be set back a minimum of ten (10) feet from any property line.

Size:

- Outdoor kitchens shall not exceed six (6) feet in height, twelve (12) feet in length, and four (4) feet in depth. However, additional height will be considered on a case-by-case basis where a pizza oven or similar outdoor oven structure requires a chimney structure, as well as additional length and depth will be considered for Lots over 14,000 square feet and where increased set back distances can be provided.



Materials:

- Outdoor kitchens and grills may be crafted with natural stone and concrete products and may also include metal/steel appliance accessories.
- When located on a raised deck, the material on the backside of the outdoor kitchen or grill shall be siding to match the home.



Color:

- The color scheme shall be compatible with the home. Bright colors are not permitted.

Outdoor Lighting

Outdoor lighting shall not be installed until after the Homeowner/Applicant receives approval from the Association.

An exception shall be made for walkway path lights and café lights which do not require approval from the Association provided they meet the standards referenced below.

Replacement of existing outdoor lighting fixtures, that conform to illumination standards, with the same lighting fixture in the same location does not require approval from the Association.

In general, outdoor lighting shall be kept to a minimum. Willowsford encourages residents to follow dark sky principles to limit light pollution. Dark sky principles are designed to minimize the amount of illumination, the area of illumination, and the duration of illumination to preserve and protect Willowsford's natural environmental setting (www.darksky.org for more information). The intent is to produce a low level of light that creates a warm ambiance and provides for safety while maintaining the natural environmental setting and the view of the night sky and stars. Lighting which directly illuminates and spills onto Open Space/Common Areas or other adjacent property is prohibited.

The overall quantity of lighting in a specific area shall be taken into consideration when reviewing an overall project. The Design Review Committee may determine the lighting excessive, and request minimizing the quantity of lighting while still providing light to the areas that are needed.

General Rules for Lighting:

- The Kelvin Temperature (color) of all lighting (including outdoor porch and garage lights attached to the house and lamp poles) shall not exceed 3,000K which is warm white. Multi-colored lighting is only appropriate as holiday décor and shall be subject to all standards as outlined in Seasonal/Holiday Decorations and Lighting within this document. If the proposed lighting has the ability to change colors, the lighting shall be set to warm white for all times except during Holidays when used as a decorative feature.
- Lighting should be no brighter than necessary. Unless otherwise noted herein, lighting (including outdoor porch and garage lights attached to the house and lamp poles) shall not exceed 800 lumens which is the approximate value of a 60-watt incandescent bulb.
- Any fixture with an exposed bulb shall be shielded or recessed when possible.
- Lighting shall be directed only to where it is needed and shall be pointed downward when possible. Lighting may not be pointed toward adjacent property.
- Lighting should be turned off when not in use.
- Floodlights are prohibited.
- Lighting on fences is prohibited.

Standards for Different Types of Outdoor Lighting

- **Deck Stair Riser and Deck Post Bullet Lights (downward directed)** – The quantity shall not exceed one (1) per post or one (1) per riser for every two feet in width.
- **Deck Post Cap Lights (downward directed)** – The quantity of such deck railing post cap lighting shall be minimized to prominent deck corners and railing posts along stairways, however, if a narrow opening and low intensity deck railing post cap light is utilized, then deck railing post cap lighting is permitted on all deck and stair posts. In evaluating deck post lighting, the Design Review Committee shall consider the height of the deck and visibility from adjacent or high

visibility locations. The opening (shielding) of the light source and intensity of the lighting shall also be considered. Per the example below, less intense lighting with narrow (7/16" or less) openings is permitted on every deck railing post. Wider openings and/or a bright intensity is not permitted on every deck post (see example below).



Narrow opening – permitted
on all deck railing posts

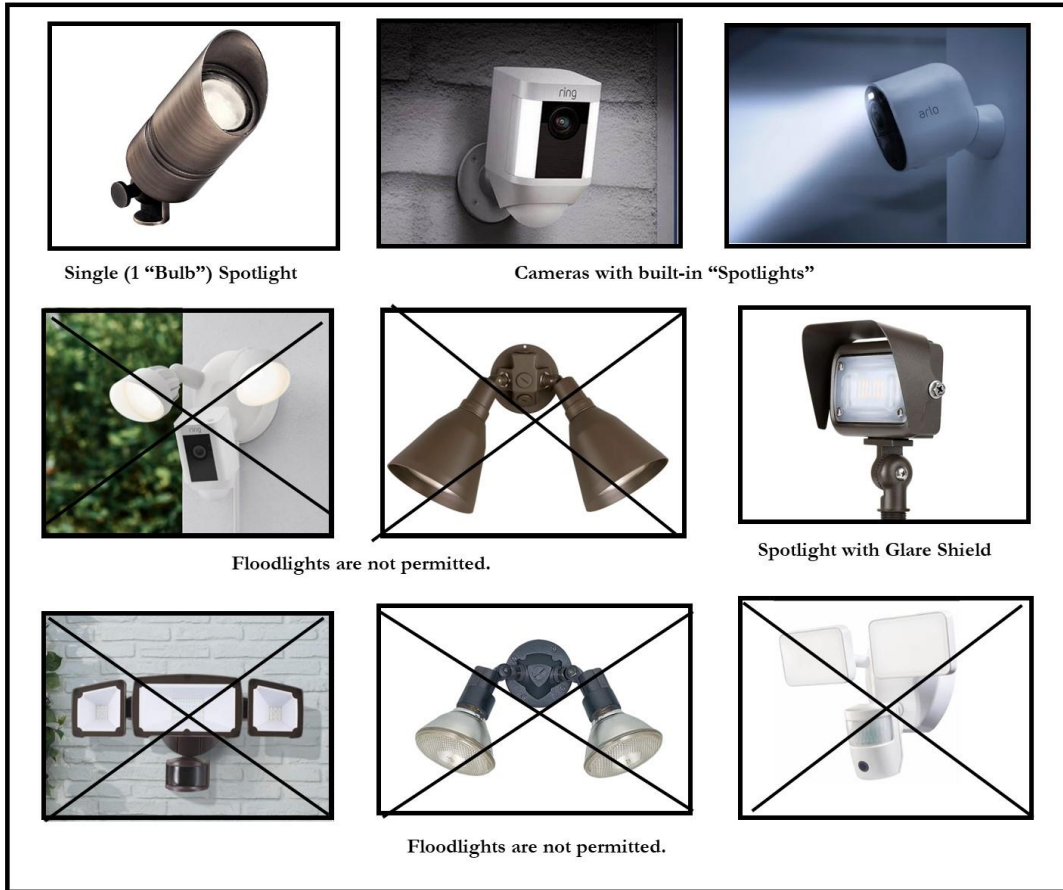
Wide opening – NOT permitted
on all deck railing posts

- **Solar Panels to power Outdoor Lights** – Solar panels shall be integrated as part of the fixture when possible. When they are separate, they shall be inconspicuously mounted and hidden from view. All wiring will be neat and hidden where possible. Front yard and highly visible locations (neighbors, roadways, etc.) will be considered on a case-by-case basis.
- **Spotlights and Floodlights** - For the purpose of these design standards, a spotlight is referred to as a downlight that has one single focused light creating more of a “spot” rather than a “wash” of light. The term floodlight is used when referring to a widespread area of light that washes over an area from one or two bulbs. Floodlights are not permitted.

Spotlights are discouraged due to their glare and intensity and are therefore limited to the quantities referenced below and must adhere to the general rules for lighting. These fixtures must be aimed downward and inward to shine only where needed and not directed toward neighboring Lots. The maximum quantity of spotlights will be based on the following standards:

- Spotlights are not permitted on the front elevation and front yard of a home except that up to two (2) cameras with a built in “spotlight” may be permitted. These fixtures must be motion sensor activated.
- One (1) fixture, not to exceed two (2) bulbs and the lumen output indicated above, may be permitted above a garage door on the side elevation of a home with the height not to exceed 15 feet and a setback of 25 feet to the side lot line. This fixture must be motion sensor activated.
- One (1) spotlight fixture, not to exceed two (2) bulbs and the lumen output indicated above, be permitted on the opposite side yard (non-garage side of home) when a setback of 25 feet or more can be provided and when the light is installed at a height not to exceed 15 feet. These fixtures must be motion sensor activated.

- Two (2) fixtures, not to exceed two (2) bulbs each and the lumen output indicated above, may be permitted in the rear yard of any Lot where the fixtures can be setback at least 15 feet from any Lot line for a fixture with an installed height of 15 feet. If any fixture is installed at a height above 15 feet and up to 25 feet, the setback must be increased to 25 feet. No light shall be installed above 25 feet. These fixtures must be motion sensor activated.
- Non-motion sensor activated spotlights may be considered in the rear yard if the fixture is on only while in use.



- **Lighting attached to Security Cameras** – Shall meet all General Rules for Lighting and shall meet all standards for spotlights as referenced above. Lighting attached to Security Cameras shall be motion activated only.
- **Walkway (“Path” Lights)** – shall meet all General Rules for Lighting and shall be spaced a minimum of five feet apart. They shall be shielded from the top to prevent light from traveling upward and they shall not exceed two (2) feet in height. They shall not be used to illuminate community paths and walkways. A maximum of one (1) light per five (5) linear feet of walkway length is permitted.

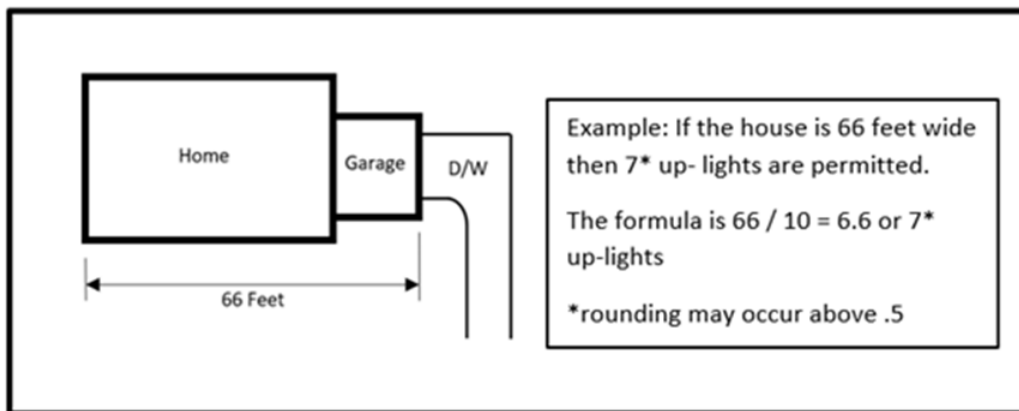


- **Patio and Pool Decking (“Path” Lights)** – shall meet all General Rules for Lighting and shall be spaced a minimum of five (5) feet apart. They shall be shielded from the top to prevent light from traveling upward and they shall not exceed two (2) feet in height. A maximum of one (1) light per eight (8) linear feet or outer perimeter length of a patio is permitted. However, additional path lights used for accent down lighting around landscaping as part of a pool or patio project will be considered on a case-by-case basis.
- **Driveway (“Path” Lights)** – shall meet all General Rules for Lighting and shall be spaced a minimum of ten (10) feet apart. The overall quantity of such lights shall be limited to avoid an “airport runway” appearance – especially on longer driveways. Proposed fixtures shall be directed downward and shielded from above to illuminate the driveway only. Landscape up-lighting is not permitted for use as driveway lighting.
- **Disc, Well and Hardscape Lighting** – shall meet all General Rules for Lighting. They shall be spaced a minimum of three feet apart. The quantity shall be limited to a maximum of 20 lights and the brightness shall not exceed 100 lumens per light. They shall be located only in the rear yard and shall be a component of a deck or patio design including, retaining/sitting walls. They are not permitted to be installed in the front or side yard or to be used as landscape accent lighting.



- Landscape -Lighting** – shall meet all General Rules for Lighting. They shall be restricted to a maximum quantity of ten (10) lights (including a combination of path lights being used for landscape) which only three (3) may be permitted in the front yard and only seven (7) in the rear yard. On Lots greater than 20,000 square feet, a maximum quantity of 16 lights which only five (5) may be permitted in the front yard and eleven (11) in the rear yard. Lighting shall not be directly pointed in the direction of a neighboring home. For this standard, landscape lighting includes tree and shrub lighting, boulder lighting and any similar landscape accent lighting as determined by the Design Review Committee. When proposing to light a Willowsford street tree, the applicant shall agree that the landscape contractor who is maintaining the tree shall not be responsible in any way for the lighting.
- House Accent Up-Lighting (Outdoor Home Lighting)** –House accent up-lighting may be utilized at architectural corners to produce a soft illumination of the corner and to accent other architectural features. This does not include, or permit spotlights positioned away from the home for the purpose of illuminating a large area – except that one (1) up-light may be positioned close enough to the home to illuminate solely the front entrance way. A maximum quantity of one (1) light per ten (10) linear feet of house width may be positioned along ground level of the front façade of the home (see measurement example below). The maximum number of up-lighting may not exceed 11 lights. Side yard and rear yard house up-lighting are not permitted. Note: second floor up-lighting, including above a porch, is limited to a maximum quantity of four (4) lights shall be limited to 400 lumens which is equivalent to four (4) watts (LED) or 25 watts incandescent. House accent up-lights on the third level are not permitted.

House accent up-lighting may be used in conjunction with house accent down-lighting so long as the standards for spacing and maximum number of lights is maintained and the same positions on the house are not illuminated by both lights.



- Permanent Holiday Lighting**– Permanent holiday lighting may be considered if the following conditions are met:

- Bulbs must be barely visible and installed inside the fascia/gutters of the home. The wires may not be visible and shall be completely hidden.
- Permanent Holiday Lighting shall adhere to the Holiday/Seasonal Decorations and Lighting standards in this document.



- Rope, Led Track, Tape/Strip and String lighting are not permitted to be used as permanent holiday lighting; however, these type of lights may be used during the holiday season only and shall adhere to the Holiday/Seasonal Decorations and Lighting standards in this document.



This setting would be acceptable during Holidays, but not during other times of the year.

- **String (Café) Lighting** – String (Café) lights may be located across a rear yard patio or beneath a pergola or pavilion type structure but may not be in the front yard of the home. Lights shall not be strung parallel to the home eave or along a wall to resemble holiday lighting, wrapped around a post, or above areas maintained by the Association. Lights shall not be attached to fences or trees. Light bulbs shall be clear or frosted and no larger than four (4) inches. Electrical wiring shall be black, brown, or green only and concealed to the extent possible. Any other colors or styles may be temporarily hung for a 72-hour period. String (Café) lights improperly hung, sagging or in disrepair shall be removed. The quantity should be limited to the extent possible, but not to exceed 96 bulbs. Excessive crossing and overlapping shall not be permitted. The mounting poles shall be black steel or a minimum of 4x4 inch wooden posts, which shall be painted to match or

be compatible with the home's architecture and shall have a sturdy base. Lights shall be turned off when not in use.



Acceptable



Acceptable



Not Acceptable

- **Pool Lighting** – Lighting within the pool should be limited to the extent possible. The “glow” from the light can create a nuisance for adjacent homeowners and therefore the lighting must be turned off when the pool and associated outdoor entertaining areas are not in use.
- **Globe Lighting** - shall be uniformly opaque (e.g., frosted, acid etched, etc.) or otherwise treated to sufficiently obscure the lamp and shall meet all General Rules for Lighting.

Additional Lighting Standards

- Outdoor ceiling fixtures shall meet all General Standards for Lighting and be recessed. Sconce lights shall be considered on a case-by-case basis and shall not point upwards unless covered by a ceiling, overhang, or eave.
- All other types of lighting which are not specified herein shall be reviewed on a case-by-case basis and be required to meet all General Rules for Lighting as referenced above.

Patios/Terraces

Patios/terraces shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Patios/terraces shall be designed to be an integral part of the property and be compatible with the home's architecture.
- All Applications for a patio shall include details about grading, retaining walls and drainage flow, including contours and/or spot elevations.
- Changes in grade or drainage for the patio shall not adversely affect adjoining Lots.
- When a patio/terrace is retained or there is a step down to grade, the vertical facing material shall complement the overall patio design.
- The height of the exposed face may not exceed three (3) feet and shall be noted on the layout plan and/or it shall be noted when the patio is flush with the existing or proposed grade.
- Backfill against a patio/terrace shall not exceed a 4:1 slope.



Patio/Terrace



Patio/Terrace

Location:

- The location shall minimize any tree removal and be such that it does not adversely affect adjoining Lots.
- The location for patios/terraces is the rear of the home. However, should the home's architecture be designed to permit a side load patio/terrace, approval may be permitted.
- All patios/terraces shall be set back 10 feet from the property line. A lesser setback from one neighboring property line may be considered if the patio does not extend beyond the side plane of the home and aligns with the layout, as determined by the Design Review Committee. This allows for adequate separation from adjacent Lots and provides room for maintenance, landscaping, and/or screening.



Patio/Terrace

Materials:

- Patios/terraces shall be constructed of high-quality materials including stone, brick, concrete pavers, or stamped or exposed aggregate concrete.
- Plain, colored, or uncolored, concrete is not permitted unless it is accented/bordered with one of the other materials listed above and has additional scoring lines and defined finishing to enhance design. Examples shown on right:
- Other materials will be considered on a case-by-case basis and approved if the Design Review Committee finds that the material is of high quality and matches the architecture of the home.



Paver Patio



Plain concrete Patio with stamped border



Stamped Concrete Patio



Flagstone Patio

Walls:

- Seating and/or decorative walls shall maintain the same setbacks as patios and be constructed with high quality materials including modular masonry units, brick, or stone.
- Where applicable, a matching or compatible top cap shall be provided.
- Seating or decorative walls shall not exceed three (3) feet in height from the surface of the patio/terrace and five (5) feet from the proposed grade on the backside of the wall.

Landscaping:

- Tall, exposed walls over three (3) feet in height will require landscape for softening. The more the wall is exposed in rear, the more landscaping will be required for softening.

Pet Access Doors

Pet access doors do not require approval from the Association provided they meet the following standards.

General:

- Trim shall match the color of the door.
- Pet access doors shall be designed and located to be unobtrusive.

Location:

- Pet access doors may be permitted in a door leading to the rear yard or side yard enclosed with a fence.

Size:

- Pet access doors shall not exceed 18 inches H x 15 inches W or less in size.

Color:

- The color of the access door shall match or blend with other colors on the home.

Plant Containers

Plant containers (pots) do not require approval from the Association provided they meet the following standards:

General:

- Window boxes may be attached to windowsills or trim below windows.
- All plant containers shall be maintained with healthy maintained plantings, shall be kept in good condition, and shall not detract from the aesthetic appearance of the community.
- Each container shall be generally appropriate for the location.
- Each container shall be compatible with architectural and environmental qualities of the Lot.
- Each container shall have no negative visual impact on the surrounding area.
- Each container shall be stored when not in use and when healthy/growing plants are not maintained.
- All plant containers shall be of high-quality design and construction for the specific purpose of outdoor plantings.

Location/Quantity:

- If located in the rear yard, plant containers less than 36 inches H and 36 inches W with healthy maintained plantings do not require approval of the Design Review Committee provided they do not exceed fifteen (15) pots in total.
- Plant containers (not hanging) in the front yard that are less than 30 inches H x 30 inches W do not require approval of the Design Review Committee provided they are generally adjacent to a front door or garage door and do not exceed ten (10) pots in total.
- Vegetables grown in pots are limited to rear yards and count toward the quantities referenced above.
- Up to six (6) hanging plant containers located on a front porch do not require approval of the Design Review Committee.
- Plant containers should be setback a minimum of ten (10) feet to any property line.

- Plant containers should be placed in mulched landscaped beds, on porches, stoops, decks, and patios/terraces.

Materials/Color:

- For boxes/planters mounted on an approved deck, patio, and/or unscreened porch railings, one (1) flower box may be installed for each section of railing. The color of such boxes should match the color of the railings, deck, earth tones, white, or black.
- The color of window boxes and mounting brackets shall match one of the following colors: home trim color, siding color, shutter color, or white or black. Boxes may not extend wider than the window above them. Boxes may not be more than six (6) inches in depth.
- The color of window boxes and mounting brackets shall match one of the following colors: home trim color, siding color, shutter color, or white or black. Boxes may not extend wider than the window above them. Boxes may not be more than six (6) inches in depth.

Play Equipment (Playhouses, Climbing Walls, and Trampolines)

Permanent play equipment, which constitutes a structure such as swings, playsets, climbing walls, in-ground and above-ground trampolines, etc. shall not be installed until after the Homeowner/Applicant receives approval from the Association.

Portable, non-permanent play equipment, which does not constitute a structure, such as playhouses, sandboxes, etc. do not require approval provided they meet the following standards:

General:

- Only two (2) sets of permanent play equipment shall be permitted per Lot.
- Tree houses are not permitted.
- Climbing walls must be incorporated into a playset. Free-standing climbing walls are not permitted.
- Play equipment or toys of any kind (e.g., bicycles, scooters, portable soccer goals, etc.) except for approved basketball goals (permanent and non-permanent) are not permitted to be left out overnight in the front of the residence. All play equipment must be removed and stored away when not in use.
- It is the Applicant's responsibility to ensure that all play areas are designed safely and in accordance with local, state, and federal standards, guidelines, and regulations as well as manufacturer's recommendations.
- The Applicant shall be solely responsible to secure the play equipment to the ground in a manner consistent with manufacturer's recommendations.

Location:

- All play equipment, both permanent and portable, shall be located in the rear yard in an area that should minimize visual and noise impacts. The preferred location for play equipment is directly behind the home such that it may be further hidden from view.
- All play equipment shall be located no closer than ten (10) feet from the nearest property line.

Size:

- The size and design of the equipment shall be compatible with the size and shape of the Lot as well as providing for all necessary fall safety zones within the Lot.
- The maximum height for play equipment shall be thirteen (13) feet.
- Play equipment should generally not exceed a width of twenty-two (22) feet, a depth of thirteen (13) feet (not including a reasonable slide extension – if applicable). On larger Lots (½ acre or greater) where greater setback distances can be provided, larger sizes may be considered.
- Playhouses shall not exceed fifty (50) square feet and shall not exceed eight (8) feet at the peak height.
- For above-ground trampolines, overall height of the equipment shall not exceed ten (10) feet. Trampolines shall not exceed fifteen (15) feet in diameter.

Material:

- Permanent play equipment shall be wood, vinyl or metal and appropriately finished for a neat appearance. Portable, non-permanent play equipment may be plastic.
- Plain, wood timbers not to exceed two (2) feet in height may be used as a border for the play equipment.

Color:

- Bright colors will be considered on a case-by-case basis.

Landscaping:

- Highly visible or impactful, permanent play equipment may require softening and “anchoring” with landscaping and shall be planted within thirty (30) days following placement/installation of the play equipment. Portable play equipment does not require landscaping.
- The landscaping shall be placed so that it softens the view from the closest/most affected neighbor, open space, and / or street.
- A design providing tall shrubs, trees and/or ornamental grasses is encouraged.
- In absence of a specific design, a minimum of three (3) evergreen trees with a planted size of five (5) to six (6) feet height shall be required.

Maintenance:

- At all times, play equipment shall remain upright and be maintained appropriately.

- Turf may remain below play equipment but shall be mowed or trimmed properly and regularly. Alternatively, consideration may be given for the surface below the play equipment to be edged and filled with wood playground mulch or mulch that is well maintained. It is the Applicant's responsibility to provide the appropriate and safe surfacing.

Pool House

Pool houses shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- For the purpose of these standards, a pool house is considered an outdoor shingle-roofed, stand-alone structure that is enclosed, and may have internal rooms. Pool houses are not permitted in the absence of a swimming pool.
- The structure shall be custom built. Prefabricated structures are not permitted.
- Pool houses are substantial structures that may share many of the attributes of an addition, and therefore, the standards for Additions apply to pool houses as well.

Location:

- Pool houses are restricted to rear yards. They shall be set back a minimum of fifteen (15) feet to a side property line and ten (10) feet to a rear property line. The Design Review Committee may consider a modification to the rear setback distance when backing to Open Space/Common Area.

Size:

- As described in the Additions section, the structure shall be appropriate to the size of the home and the Lot.
- The size shall not exceed seventeen (17) feet in length on any one side and 290 square feet (All measurements shall include the overhang and be measured from the outer-most edges of the roof line.) Peak height shall not exceed fourteen (14) feet.
- An increase to a size up to 480 square feet (and up to twenty-four (24) feet in length on any one side) may be permitted when located on Lots greater than ½ acre in size, when a minimum setback of twenty-five (25) feet to all property lines can be achieved and landscape softening is provided.

Materials:

- The materials used for pool houses should closely match the materials of the home including the same siding material.

- Roofing materials shall be the same as that of the existing home and a minimum of 8-inch overhang shall be provided.
- Standing seam metal roofs may be considered on a case-by-case basis in lieu of the required shingles. This may only be considered when the existing home already has a metal roof component.

Color:

- Pool houses shall match the homes color scheme. Other colors that complement and are compatible with the colors of the existing home will be considered on a case-by-case basis.

Landscaping:

- Supplemental landscaping may be required by the Design Review Committee (at the Design Review Committee’s discretion) to compensate for the removal of significant vegetation, to visually integrate the addition with the home and surrounding landscape, or to provide appropriate screening where necessary.
- Supplemental landscaping will be required along the foundation edges facing external residential Lots.
- Significant landscaping may be required depending on the size and location of the structure.

Porches

For the purposes of these standards, a Porch is defined as a solid and impervious covered structure which is attached directly to the front of the home.

Front porches shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Porch additions shall be designed as an integral part of the home.
- All porch additions shall be compatible with the existing home in style and compatible with neighboring properties having similar structures.
- All porch additions shall repeat significant architectural elements of the existing home such as roof lines, windows, trim details, materials, and colors.
- Front porches shall not be screened in.

Location:

- All setbacks shall follow all applicable jurisdictional (zoning) regulations.
- The location of the porch shall be appropriate to the existing architecture.

- Any adverse impact on neighboring Lots, including changes in grade or drainage must be considered when determining location.

Size:

- The size of the porch shall be appropriate to the existing home and space available on the property.

Radon Vent Systems

Radon vent systems do not require approval from the Association provided they meet the following standards:

General:

- Weatherproof/critter cap screening may be added to all exhaust piping ends.
- Exterior fan assembly and associated hardware shall adjoin and match existing gutters and downspouts when possible.

Location:

- Any exterior vents, equipment, piping, etc. shall be placed in an inconspicuous location and match adjacent color.
- All exterior components of radon remediation systems shall be confined to the side or rear portion of the residence.
- Exhaust components shall be located as high as possible on a roof surface that is not located on the front (street) of the residence and remain at or below the ridge line precluding visibility from the street.

Color:

- Color of fan assembly, vertical PVC exhaust piping, or substituted aluminum downspout exhaust piping shall match existing home trim color where possible.

Rain Barrels

Rain barrels do not require approval from the Association provided they meet the following standards:

General:

- Rainwater harvesting systems are encouraged.
- The rain barrel container shall be designed for the purpose of collecting rainwater; a converted trashcan or pickle barrel is not acceptable.
- No more than two rain barrels will be permitted grouped together.
- Writing or graphics shall be limited and turned to be hidden where applicable.

Location:

- Cisterns for water storage shall be located underground.
- Other apparatus related to such systems shall be located in an inconspicuous location and screened from view of adjoining Lots, streets and Open Space/Common Area.
- Rain barrels shall be selected to be unobtrusive in location and appearance. The location shall take advantage of less visible areas of the side or rear yards.
- The overflow shall discharge in the same location as the downspout to which the barrel is connected so as not to create a drainage problem.

Size:

- The capacity shall not exceed fifty-five (55) gallons. The height should not exceed forty (40) inches and the width shall not exceed thirty (30) inches.

Color:

- The color of the barrel and diverter shall blend in to match the adjacent color of the home or shall be complimentary and compatible with the home as determined by the Design Review Committee.
- Acceptable barrel colors include terra-cotta, brown, beige, grey, black or white depending upon the color scheme of the home.
- Industrial/bright colors including, but not limited to, blue, red, and yellow, will not be permitted.

Retaining Walls and Borders

Retaining walls and borders shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

Design:

- Retaining walls and borders are structural methods of dealing with changes in grade. A border is a generally low masonry device that retains or defines the border of planting beds.
- Every effort shall be made to reduce or eliminate a guardrail requirement by relocating the wall or by reducing the wall's height.

- Where guardrails cannot be avoided, they shall be consistent with the architectural design of the associated structures.
- Borders shall be installed in a neat and orderly manner.

Location:

- All retaining walls shall be set back a minimum of two (2) feet to any adjacent Lot line. Retaining walls greater than two (2) feet in height shall be set back a minimum of one (1) inch for every one (1) inch in height. For example, a thirty-seven (37) inch height retaining wall shall be set back thirty-seven (37) inches to any adjacent Lot line, and four (4) feet to any adjacent Lot line.
- Retaining walls shall not interfere with any community landscape maintenance.

Size:

- Retaining walls greater than twenty-four (24) inches in height require additional consideration of structural integrity.
- Where seating or decorative walls are combined with retaining walls, the height from the ground surface shall not exceed five (5) feet and landscaping is required.
- Flush, in-ground, mowing strip type edgings, or borders less than three (3) inches in height do not require approval of the Design Review Committee.
- Borders that are three (3) inches or taller (as measured from the adjacent ground surface when installed) shall be subject to design review prior to installation.
- Retaining walls may be required where slopes exceed 3:1.
- Retaining walls shall be as unobtrusive as possible and built to the minimum height needed.
- Where walls exceed forty-eight (48) inches in height, the walls shall be stepped in a terraced effect.



Materials:

- Retaining walls shall be faced with stone or brick or be constructed with interlocking concrete masonry units that are compatible with the architectural materials of the home/building.
- Borders located in front yards shall be constructed of ornamental stone, masonry units, or brick that is neatly fitted and embedded.
- Railroad ties, timbers, rows of loose rock, or blocks are not permitted.

Color:

- Borders shall be compatible in color and material to the architectural design of associated structures.

Screening Fences and Walls

Screening fences and walls shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Screening can be accomplished using landscaping or structures (fences, walls, or enclosures).
- Screening is required for certain Applications. Screen fences and walls will not be permitted to be used as a boundary fence or pool fence; however, privacy fencing, walls, or enclosures may be required for certain uses including the screening of pool equipment, trash cans, and hot tubs for example.
- Screening structures shall only be used in limited areas, such as for screening utility, trash containers, mechanical devices, and HVAC condensers, or for hot tubs to provide privacy and/or mitigate noise.

Location:

- Enclosures shall be located to minimize their impact on adjacent neighbors. If in public view, landscaping screening may also be required.
- All screening fences, walls, and enclosures shall be set back five (5) feet to any adjacent Lot line.

Size:

- The heights and extents of screen fencing/ walls shall be kept at the height needed to provide adequate coverage of the item being screened.

Materials:

- When landscaping is not sufficient, screen fencing or walls shall be constructed of high-quality materials such as finished, painted exterior lumber, natural cedar, vinyl or composite materials, brick or natural or man-made stone.

Design:

- All screening fences or walls shall be level and each panel shall step with grade.
- The design of screening structures shall be simple, so as not to attract attention, and shall be compatible with nearby buildings.
- Enclosures shall not be mass produced - prefabricated structures. They shall be constructed onsite. They shall consist of 4 inches x 4 inches minimum corner posts and may utilize high quality,

framed lattice, shiplap, siding to match the home or board and batten panels. An exception may be considered when the structure is designed to meet the standards above and when it can be permanently anchored to the ground with concrete holding the posts in place.

Color:

- Color shall be compatible with the surrounding color scheme.

Security Cameras and Devices

Exterior security cameras and devices with no lighting attached do not require approval from the Association provided they meet the following standards:

General:

- Any security equipment including cameras, fixtures and conduits shall be designed, located, and installed to be an integral part of the architecture of the building and not detract from its design and appearance.
- Standard size security doorbell cameras do not require approval if placed at the mid-point of the door frame on the doorknob side.
- Solar panels to power outdoor security cameras may be implemented provided the solar panels are inconspicuously designed as part of the fixture when possible. If the solar panels are separate, they shall be inconspicuously mounted and hidden from view or softened with landscaping. These accessory panels may not exceed one (1) square foot. This is not to be confused with Solar Panels to power a home.
- Any security signage shall be in compliance with the Signage standards.

Location:

- Security cameras shall not be aimed toward adjacent homes. The Applicant is responsible for adhering to all governing and privacy regulations.
- Conspicuous security bars and grillwork placed on the outside of windows or barred security doors are prohibited.
- Security cameras, exterior alarms or sirens and speakers shall be visually unobtrusive and limited in quantity.

Color:

- Security cameras and associated accessories shall be black or white in color depending on the color scheme of the home's exterior (white cameras would be appropriate for homes with white trim and no black accents, while black cameras would be appropriate for homes with darker colors and/or fixtures/accents).



Maintenance:

- All wiring shall be secured and concealed. All security devices and elements shall be maintained in good condition at all times.
- Security devices that are no longer in use, good condition or good working order shall be promptly removed and discarded.

Lighting:

- For cameras with lighting – see Outdoor Lighting – Spotlights for more information.

Shade Structures (Pavilions, Pergolas and Gazebos)

Shade Structures shall not be installed until after the Homeowner / Applicant receives approval from the Association.

For the purpose of this Design Standard, Shade Structures shall only include the following permanent attached and free-standing structures: Gazebos, Pavilions, Pergolas and other substantially similar shade structures. This Design Standard does not include “Awnings (Retractable Only)” or “Porches” – see the appropriate section of the Design Standards for more information on these structures.

Temporary Shade Structures which are not intended for permanent installation may also include tents and may be used in yards on a temporary basis without approval from the Design Review Committee with the condition that any such temporary shade structure shall be removed within three (3) calendar days of installation/placement. Permanent installations of tents are not permitted.

The following standards shall apply for **permanent** Shade Structures:

General:

- Only two (2) Shade Structures are permitted per Lot. However, the Design Review Committee may consider a third (3rd) Shade Structure for Lots over ½ acre on a case-by-case basis. The homeowner must provide documentation to support that a third (3rd) Shade Structure is compatible and harmonious with its surroundings.
- After market standalone Shade Structures, such as products from big box or home improvement stores, shall not be installed on decks. Deck-mounted Shade Structures shall be built as an integral part of the deck using the same materials and colors as the deck.
- Shade structures shall not be bolted onto a deck.
- For the purpose of these standards:
 - A Gazebo or Pavilion refers to an outdoor shingle-roofed shade structure that is not fully enclosed and is typically supported by 4 to 8 posts or columns. These Shade Structures do not have internal rooms.

- A Pergola is considered as an open Shade Structure with typically 4 to 6 support posts. The “roof” consists of ledger beams which support spaced rafters that run perpendicular to the ledger beams. On top of the rafters, louvers are placed perpendicular to the rafters to provide shade for the area below. Louvers may be fixed or movable (rotate to increase or decrease shade).
- Prefabricated types of Gazebos, Pergolas or Canopies as shown below will not be approved.



- Permanent Shade Structures shall:
 - ‘look’ permanent and be the same or compatible in design details, scale, materials, quality and color with the Applicant’s existing home and adjacent homes.
 - be installed on a firm flooring such as a patio, pool decking or deck and shall not be installed directly to the ground (grass, sand, rocks, mulch, etc.).
 - be securely attached to avoid tipping or blowing away in high winds.

The examples on the following page represent approvable structures only, not necessarily an approvable location:



Location:

- Shade Structures are restricted to rear yards and shall be located in less visible locations of the rear yard.
- Permanent shade structures shall be located to minimize any tree removal.
- Shade Structures shall be set back from any adjacent lot line as follows:
 - A shade structure measuring 17 feet or less (length and width) shall be setback a minimum of 10 feet to any lot line.
 - A shade structure measuring greater than 17 feet (length and width) shall be setback a minimum of 15 feet to any lot line.

- The Design Review Committee may consider a reduction of the setback distance of up to 50% when the adjacent property is Open Space / Common Area.

Size:

- Shade Structures shall be appropriately sized to be harmonious and compatible with the size of the home, size of the Lot, and surrounding characteristics and shall not exceed the dimensions provided below. All measurements shall include the overhang and be measured from the outermost edges of the roof line.
- No permanent Shade Structure component shall begin or end anywhere within a window or door opening of the dwelling.
- For irregular shaped Shade Structures (hexagon, octagon, circle, etc.), The length and width are the maximum length and width of the longest side of a box in which the shade structure will fit.
- **On lots measuring less than ½ acre (21,779 SF or less):** a Shade Structure may have a maximum dimension of 17 feet in width and / or length resulting in a maximum size of 289 square feet.
- **On lots measuring equal to or greater than ½ acre (21,780 SF or more):** a Shade Structure may have a maximum dimension of 24 feet in width and / or length resulting in a maximum size of 576 square feet.
- The maximum height of a Shade Structure with a flat roof shall not exceed 12 feet in height.
- The maximum height of a Shade Structure with a gabled, hipped, or shed roof type (and other roofs which are not flat) shall not exceed 14 feet in peak height at its highest point.

Materials:

- Shade Structures constructed of wood, wood composite, or PVC are preferred. Metal Shade Structures will be considered on a case-by-case basis and must be compatible and harmonious with the Applicant's existing home and adjacent homes.
- Roofing materials for Shade Structures (excluding Pergolas) shall be the same as that of the existing home and a minimum two (2) inch roof overhang shall be provided.
- Standing seam metal roofs or metal louvers for a pergola may be considered on a case-by-case basis in lieu of the required matching shingle roof.
- Fabric roofing is not permitted.
- All pergola rafters shall have a decorative end treatment, and the design must be submitted. An exception may be considered when the pergola has a modern design that is compatible with the home and where decorative ends would not be appropriate.
- Masonry accents are desirable when such matches the style of the home.
- Screen material shall be a dark nylon or aluminum type, and the method of installation and detailing must be clearly indicated.

- Roofing support posts (columns) for all Shade Structures must be a minimum of four (4) inches x four (4) inches (nominal).
- Mass produced and prefabricated Shade Structures which are typically found at big box and home improvement retailers are not permitted unless all of the Design Standards referenced herein can be met.
- Walls including “knee walls” must be the same material as the siding of the home.
- The material within a closed roof gable or the triangular side of a roof must be the same material as the siding of the home.

Color:

- Shade Structures shall be a natural wood tone color, white, black, painted or stained to match the trim of the home. All other colors shall be reviewed on a case-by-case basis by the Design Review Committee and must be compatible and harmonious with the Applicant’s existing home and adjacent homes.
- For Shade Structures with walls, the walls shall match the color scheme and materials of the existing home. All other colors shall be reviewed on a case-by-case basis by the Design Review Committee and must be compatible and harmonious with the Applicant’s existing home and adjacent homes.
- Traditional “redwood” and bright orange tones are not permitted.
- Color samples should be submitted with the Application when applicable.

Landscaping:

- Supplemental landscaping may be required by the Design Review Committee to compensate for the removal of significant vegetation, to visually integrate the addition with the home and surrounding landscape, or to provide appropriate screening where necessary.
- Supplemental landscaping may be required along the edges of the structure facing external residential Lots.
- Significant landscaping may be required depending on the size and location of the structure.
- The landscaping plan, if required, shall include the location, plant names, planting sizes and quantities and shall be submitted with the application.

Sheds

Storage sheds shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Homeowners may construct one (1) freestanding, outdoor storage structure such as a shed provided it is compatible with the design details and materials of the home.
- Storage structures that are attached to the home or integral to a deck or addition shall be considered additions and therefore shall blend with the architectural design, details, and materials of the home.

Location:

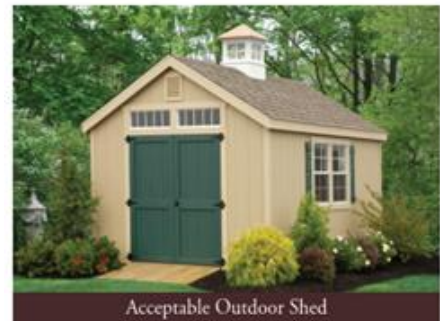
- The preferred location of sheds is near the rear of the Lot. However, consideration of other locations may be possible where it is found that the location minimizes the visual impact to neighboring Lots, roadways, or Open Space/Common Area.
- In all cases, sheds and ancillary structures shall be located to minimize the visibility from the public to the extent possible.
- Landscape screening may be required as necessary to soften the visual impact of the shed from adjoining Lots, roadways, or Open Space/Common Area.
- Storage structures shall be located in accordance with Loudoun County regulations but in no case shall be any closer than five (5) feet from adjacent Lot lines.

Size:

- Storage structures shall not exceed eighty (80) square feet in size on Lots .5 acre or less and shall not exceed 160 square feet on Lots over .5 acre.
- On Lots of one (1) acre or more, the Design Review Committee may consider structures greater than 160 square feet in size on a case-by-case basis depending on the specific use, location, design, screening, etc.
- The peak height shall not exceed thirteen (13) feet to include foundation structures. If a foundation structure is required, Applicant shall provide all details. Sheds cannot be supported on visible blocks.
- The roof shall have an overhanging eave of three (3) inches or greater.

Design:

- Typical, low quality, prefabricated sheds are generally not permitted and shall not be installed without prior approval of the Design Review Committee.



- The architectural design, materials, and colors shall be compatible with the Applicant’s home; therefore, plastic, vinyl and metal structures are not allowed.
- The roof style and shingles shall match the Applicant’s home or be upgraded.
- The windows, doors and trim shall be painted in a trim color to match or be compatible with the Applicant’s home.
- Additional detailing such as carriage lamps, transom windows, cupolas and other decorative features are approvable only when they are in an appropriate style, correctly proportioned, and compatible with the architecture of the Applicant’s home.
- The applicant shall be required to provide elevation view drawings showing all four sides of the shed. Elevation drawings shall be labeled to indicate dimension, materials, features, and colors.

Shutters

A homeowner may replace shutters with a like design and color without approval by the Design Review Committee. New or relocated shutters and shutter color changes require approval from the Design Review Committee.

- The addition or relocation of shutters to a home will be considered and will be evaluated in terms of general appropriateness, size, location, and compatibility with architectural and aesthetic design qualities. The color of shutters added to the home must match the color of the existing shutters on the home - if applicable.
- The preference is that the color of shutters shall not be changed and remain the same color as originally provided with the construction of the home. However, a color change will be considered by the Design Review Committee on a case-by-case basis when the proposed color is the same (uniform) on all shutters; when the new color doesn’t match immediately adjacent (on either side) homes; when the color matches the original home builders color scheme / palette; and when the color is harmonious, and compatible with the other colors found on the home.
- Shutters must be properly maintained. Shutters in disrepair, faded or worn must be repaired, re-painted or replaced.
- Removal of shutters is not permitted without the written approval of the Design Review Committee.

Signage

Signage as referenced below, does not require approval from the Association provided it meets the following standards:

General:

- No signs, other than real estate signs, security system signs or temporary signage as described below, are permitted on residential Lots.

- Residents may only install those signs that are permitted on their own Lot.
- No signs shall be placed in the Open Space/Common Area unless done so by government entities or Willowsford entities.
- Signs advertising any business, either home-based or off-site, including contractors' identification signs, are prohibited and may be removed
- Signs shall not be attached to structures, including fences, signposts, trees, or mailboxes.
- Signs shall not obstruct any intersection sight lines. At all times, every sign element shall remain upright and be maintained appropriately.

Political Signage

- Political campaign election signs for candidates only are permitted for Federal, Virginia State and Loudoun County elections (as tracked on the official Virginia State Board of Elections website).
- No more than one (1) political campaign election sign per Lot is permitted.
- Political campaign election signs shall not exceed thirty-six (36) inches in height from the ground and twenty-four (24) inches in width.
- Political campaign election signs may be placed no sooner than forty-five (45) days prior to the election date and shall be removed no later than seven (7) days following the election date.

Real Estate Signage

- Is only permitted in accordance with the Charter and the Real Estate Sign Policy

School Signage

- School signage is only permitted for students entering a new school and graduating from a school.
- No more than one (1) sign per student, per Lot is permitted.
- School signs shall not exceed thirty-six (36) inches in height from the ground and twenty-four (24) inches in width.
- School signs may be placed in the yard on the homeowner's Lot for a maximum period of four (4) weeks.

Security Signage

- No more than two (2) security signs per Lot are permitted, of which not more than one (1) security sign is permitted to be installed forward of the front plane of the home.
- Each security sign shall not exceed eighteen (18) inches in height and twelve (12) inches in width.
- Security signs shall be located within ten (10) feet to the immediate left or right of the front or rear entrances.

Beware of Dog Signage

- One (1) beware of dog sign may be displayed on each side of the home, not to exceed 9 x 12 inches (permitted on fences).

Contractor Signage

- Contractor signage is permitted in the yard while construction is being conducted.

Skateboard Ramps

Permanent skateboard ramps are prohibited.

Slope and Grading

Slope and grading adjustments to any Lot shall not occur until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Grading shall be finished to provide smooth transitions between areas of differing slopes.
- Graded areas shall be smoothly feathered into existing grade at the edge of areas of disturbance.
- Abrupt, angular changes in grade shall be avoided to the maximum extent possible.
- Grading shall also provide adequate slopes for proper drainage away from buildings and other outdoor use areas without adversely affecting neighboring Lots.

Solar Panels

Solar panels shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- The quality, style, configuration, and location of the proposed solar panels and pertinent accessories shall be compatible and visually integrated with the home to the extent possible.

Location:

- Solar panels shall be placed where they have the least visual impact, which is generally on the rear roofline of the home. However, this is not always possible due to home orientation versus the necessary sun exposure. If solar panels cannot be installed in the rear, then extra attention to the configuration shall be provided to ensure that the arrangement of the solar panels is visually

compatible with the existing roof design. A documentation letter from the installer, which shall include quantitative figures, will be required to substantiate that such a location is essential to providing reasonable efficiency and benefit from the system.

- In the event a front or side roof placement is required, then the homeowner shall provide documentation prepared by an independent solar panel design specialist (certified by the North American Board of Certified Energy Practitioners and licensed in Virginia) that is satisfactory to the Design Review Committee to show that the restriction to the rear roof only is not reasonable according to the above criteria. The restriction shall be deemed unreasonable if placement on the rear roof only either (i) increases the cost of installation of the solar energy collection device by 5% over the projected cost of the initially proposed installation or (ii) reduces the energy production by that collection device by 10% below the projected energy production of the initially proposed installation.
- No equipment shall be placed within six (6) inches of the edge of the roof.
- Solar panels shall be parallel with the roofline upon which it is installed.
- Solar panels shall be flush mounted so that the total height from the roof to the top of the solar panels must not exceed six (6) inches.
- The solar panel's structure, fixtures, conduits, plumbing, and electrical lines shall be concealed in the attic of the home wherever possible.
- Any exposed conduit or other materials installed on the home shall be concealed in a conduit cover or wiring organizer (three (3) inches diameter maximum) that blends in with the surfaces such materials will be affixed to and shall be neatly run and installed. Any conduit mounted on the sides of the home shall be discreetly tucked under roof overhangs and/or run along vertical brick or trim edges or adjacent to existing downspouts.
- The contractor shall determine in advance where the conduit shall be run from the electric meter to the attic. A picture of the side elevation of the home shall be provided and shall clearly and accurately indicate the path of the conduit. The proposed location shown shall be as unobtrusive as possible. Failure to install the conduit exactly as approved may result in disapproval of the installation and a revision to the conduit routing may be required.
- Devices that are part of the installation, such as inverters, shall be placed inside the dwelling whenever possible.
- The second electric meter and the emergency disconnect required for these installations shall be placed on the exterior of the home near the existing electrical meter.

Size:

- The size of the solar panel system shall be in scale with the roof of the home to the extent possible.

Color:

- Black (Mono-crystalline) is the required color for solar panels. Black Mono-crystalline panels with black frames are widely considered to be aesthetically superior to blue Poly-crystalline panels.
- The supports or standoffs shall be black, dark grey, or dark brown in color so that they match as closely as possible with the color of the existing roof shingles.

- All conduits shall be colored to match the surface to which it is attached or adjacent if visible from public view.

Sport Courts

Sport courts and similar paved sports areas shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Sport courts are only permitted on Lots of one (1) acre or more and are restricted to rear yards. Half-size or smaller sport courts, not exceeding 50 feet, may be considered if they meet a
- minimum setback of twenty-five (25) feet and all other standards for sport courts.
- Sport courts shall not be located in high visibility locations, including from an adjacent roadway; however, extensive screening may be considered as mitigation.
- Landscape screening will be required.
- The quantity of recreational items on an individual Lot is limited. The total number permitted will be determined by the Design Review Committee.
- Sport Courts shall not have lighting.
- All Applications for sport courts shall include details about grading, retaining walls and drainage flow, including contours and/or spot elevations.
- Changes in grade or drainage for the sports court shall not adversely affect adjoining Lots.
- When a sports court is retained or there is a step down to grade, the vertical facing material shall complement the overall patio design.
- The height of the exposed face may not exceed three (3) feet and shall be noted on the layout plan and/or it shall be noted when the sports court is flush with the existing or proposed grade.
- Backfill against a sports court shall not exceed a 4:1 slope.

Location:

- Permanent sport courts including tennis, basketball, pickleball, volleyball, shuffleboard, or other game courts shall be located in rear yards only.
- The location and all associated features such as nets, goals, perimeter fences, etc., shall be subject to approval by the Design Review Committee on a case-by-case basis.
- They shall be set back a minimum of twenty-five (25) feet from the nearest property line.
- The location shall minimize any tree removal and be such that it does not adversely affect adjoining Lots.

Fencing:

- All sport court fencing shall be setback at least 25 feet to the nearest lot line.
- Sport court fencing may extend to eight (8) feet in maximum height.

- All landscaping used to soften the view of the sport court shall be installed outside of the fence to soften the fence as well as the court.
- The preferred style of fencing is a black metal fence. However, other unobtrusive styles of fencing that blend into the landscape may be considered on a case-by-case basis. Chain link fencing is not permitted.

Swimming Pools

Swimming pools shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Above ground swimming pools are prohibited.
- Applications for a pool shall include details about grading, retaining walls and drainage flow, including contours and/or spot elevations.
- Temporary wading pools are permitted without an application but shall be six (6) feet in diameter or less, eighteen (18) inches in height or less and shall be used only in the rear yard and emptied and removed from open view daily.
- Pool equipment enclosures require a detailed drawing of the enclosure to be provided for review.

Location:

- Pools shall be located in the rear yard.
- Swimming pools and associated decking shall be set back a minimum of ten (10) feet from a Lot line.
- The location of the pool shall minimize the visual impact on adjacent Lots.
- Swimming pools shall be built in-ground and graded so that they do not block drainage or increase runoff onto adjacent Lots.

Size:

- The size of the pool and related accessory structures shall take into consideration the size of the Lot in relation to adjacent Lots.

Materials:

- Pool decking materials shall be in accordance with the materials permitted for patios.

Landscaping:

- Landscaping will be required to soften the visual impact of the pool, the pool fence, and other associated structures. Generally, Evergreen trees a minimum of 7 feet – 8 feet in height are recommended for screening.
- Within the ten (10) foot setback, abundant landscaping shall be provided to help screen the pool from adjacent views.

Pool Equipment and Accessories:

- Mechanical equipment shall be concealed and located to reduce any adverse effect on the adjacent Lot.
- Pool equipment must be located in the rear or side yard adjacent to the home, but no closer than fifteen (15) feet to the front corner of the home. Locations in the rear yard, not directly adjacent to the home, are discouraged and considered on a case-by-case basis when found to have no unreasonable impact on the view of adjacent Lots or Open Space/Common Area as determined by the Design Review Committee.
- Landscape softening, such as evergreen bushes, or architectural screening using wood or masonry that complements the home, must be installed to conceal the pool equipment enclosure.
- If landscaping is used, it must be taller than the pool equipment to effectively conceal it and sufficiently abundant to ensure the equipment is not visible from public view and neighboring properties.
- Boxed-in lattice shall not be considered an effective solution due to its transparency and lack of noise mitigation qualities.
- The height of the pool equipment, including separate electrical and control boxes, shall be kept to a minimum and screening shall reach the height of the tallest piece of equipment.
- When the enclosure is constructed of wood, it shall be painted white or painted to match the trim color of the home. Darker colors may be considered on a case-by-case basis.
- The enclosures shall not be mass produced - prefabricated structures. They shall be constructed onsite. They shall consist of 4 inches x 4 inches minimum corner posts and may utilize high quality, shiplap, siding to match the home or board and batten panels. An exception may be considered when the structure is designed to meet the standards above and when it can be permanently anchored to the ground with concrete holding the posts in place.
- Accessories, such as rock features and slides shall be unobtrusive, shall be reviewed on a case-by-case basis and may require screening as determined by the Design Review Committee.
- Bright colors are not permitted.



Trash Enclosures

Trash enclosures shall not be installed until after the Homeowner/Applicant receives approval from the Association.

General:

- The enclosure shall be solid and constructed of wood, cedar, or vinyl. If vinyl is not used, the wood must be painted to match the adjacent fence or match the home's siding or trim.
- The design must be compatible and harmonious with the style of the home.
- The enclosures shall not be mass produced - prefabricated structures. They shall be constructed onsite. They shall consist of 4 inches x 4 inches minimum corner posts and may utilize high quality, shiplap, siding to match the home or board and batten panels. An exception may be considered when the structure is designed to meet the standards above and when it can be permanently anchored to the ground with concrete holding the posts in place.

Size:

- The size of the enclosure shall be limited to five (5) feet tall, five (5) feet wide and eight (8) feet in length as measured along the home.

Landscaping:

- The enclosure may require additional screening to soften the visual impact from public view as determined by the Design Review Committee.

Location:

- The enclosure shall be setback at least two (2) feet behind the front plane of the home.
- The enclosure shall be located in an area that will minimize visual impacts.

Walkways and Steps

Walkways and steps shall not be installed until after the Homeowner/Applicant receives approval from the Association.

The following standards shall apply:

General:

- Walkways shall be flush to the ground except when elevation changes are involved. For steppingstones, each step shall be counter-sunk into the grass and installed in a professional-like manner.
- The design shall be simple, minimal, and attractive.
- Walkway applications shall address grading to demonstrate that drainage is not restricted or blocked.

- Applications shall include a picture or brochure of the exact type of step or material to be provided.

Location:

- Direct access from the sidewalk or public trail to the backyard is prohibited.
- For steppingstones, the application shall include the number of steps to be provided, the spacing between each step, a plan view drawing showing the location, and setback distance from the side property line.
- Walkways shall be set back a minimum of one (1) foot from adjacent property lines.

Size:

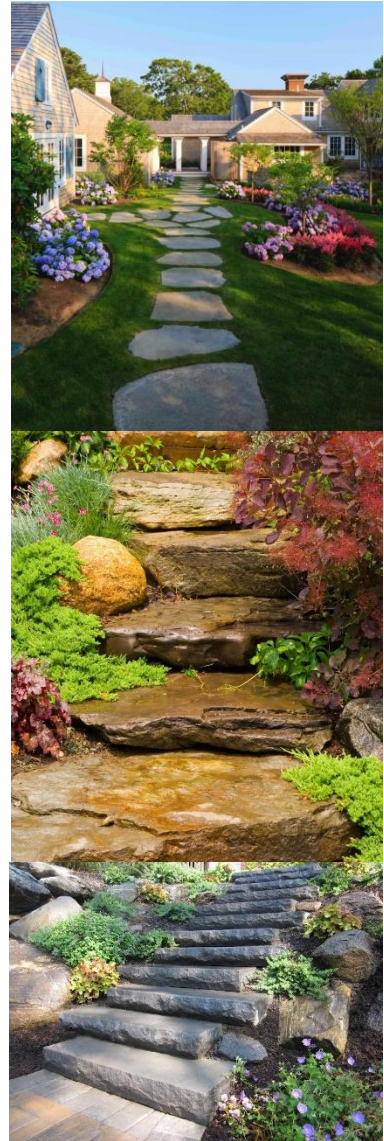
- The size and length of the walkway shall be in scale with the Lot and its surroundings.

Materials:

- Materials for all walkways shall be compatible with the existing home.
- Preferred materials include flagstone, brick, exposed aggregate concrete, pavers, and/or stamped concrete.

Color:

- For materials other than natural stone, permitted colors include the color of natural stones including tones of brown, tan, and grey.



Windows

Windows shall not be installed until after the Homeowner/Applicant receives approval from the Association.

Approval is not required for the replacement of windows that match the original windows installed by the builder.

The following standards shall apply:

General:

- Windows must match and be compatible in appearance (dimensions, configuration, frame color and profile) with existing windows on the home.

- Proposed windows must be harmonious with the architecture of the home and compatible with the style of other windows in the neighborhood.
- The color of all window frames and trim must match the home’s existing windows.
- All trim detailing must be duplicated.
- Windows (glass) which are frosted, colored or of glass blocks are not permitted.
- For additions or new window locations, all windows must be compatible in appearance (dimensions, configuration, frame color and profile) with the existing windows on the home and the proposed location must be architecturally appropriate for the window.
- The size of the window trim and frame must match that of the other windows as closely as possible.
- Storm windows are not permitted.
- Window dividers (also called grids, mullions, or muntins) installed in original windows must be retained and replaced with a comparable divider if damaged or missing.

Materials:

- The following types of windows are permitted:
 - Wood Windows: Traditional all-wood windows are discouraged
 - Wood with Cladding: These window frames are made of solid wood with the exterior covered in aluminum or vinyl to protect the wood from the elements and reduce maintenance.
 - Vinyl Windows: Typically, these are less expensive and do not need to be painted or stained. They are most typically white, and most cannot be painted. The color of all window frames and trim must match the home’s existing windows.
 - Composite Windows: These frames are made from fiberglass or from a combination of materials and typically do not need to be painted or stained—though you may have limited color choices. They're also typically a less expensive type of frame. They may have parts made of solid wood and others from laminated wood or plastic with embedded wood fibers. The combination is typically used to give the look of a solid wood window, while trying to make the underlying structure more stable than that of solid wood. Fiberglass windows are made by embedding fiberglass needles in plastic, making them stronger and stiffer than vinyl.

GLOSSARY

The terms herein are defined as applicable (or as applied) to the purpose or intent of these Design Standards.

Accessory: A subordinate or supplementary part, object, or the like. Examples include a privacy screen built into a deck or a seating wall constructed with a patio.

Adjacent Property: All property, including Open Space/Common Area, which immediately borders or touches an Applicant’s Lot. In most cases, the term is also meant to include property which is nearby or within sight.

Aesthetics: The study or philosophy of beauty and taste. For example, something that looks attractive may be considered aesthetically pleasing.

Alteration: A change, modification, or adjustment - the act or process of altering.

Apron (Driveway): The flared area that begins at the street edge and extends to the asphalt driveway is called the "Apron". This portion of the driveway is within the street right of way and shall be built to County and VDOT standards.

Arbor: A vertical, decorative structure typically used for supporting plantings or garden ornamentation. It typically has two sides and a top and allows passage of an individual through it.

Applicant: The "Homeowner" who submits an application for consideration by the Design Review Committee.

Appurtenant: Is a term for what belongs to and goes with something else, the accessories or things usually combined with another improvement.

Awning: A retractable shade structure, made of fabric which can be rolled up (either manually or electronically) into a protective housing which is attached to the home that serves as a shelter and typically covers a deck or patio to provide relief from the sun or inclement weather.

Back-to-back Fencing (aka Double Line Fencing): Two fences that run parallel in close proximity with one another along the same property line (which is not permitted).

Baluster: The upright (vertical) portion of the row of supports for a deck or porch railing. Often, they are also referred to or thought of as being pickets.

Beadboard: Beadboard is a row of narrow wood planks lined up vertically on the wall. In between each wood plank is a little indentation or ridge—also known as a "bead". The vertical boards are capped off by strips of horizontal molding, which finish off the seams.

Case-by-case: Decisions which are made separately, each according to the facts of a particular situation. When an alternative design is proposed, there may not always be specific standards to evaluate the proposal and as such, review criteria listed in this document will assist the Design Review Committee with their review.

Clothesline: A clothesline or washing line is any type of string, rope, cord, or twine that has been stretched between two points, above the level of the ground. Clothing that has recently been washed is hung along the line to dry, using clothes pegs or clothespins. Washing lines are attached either to a post or a wall.

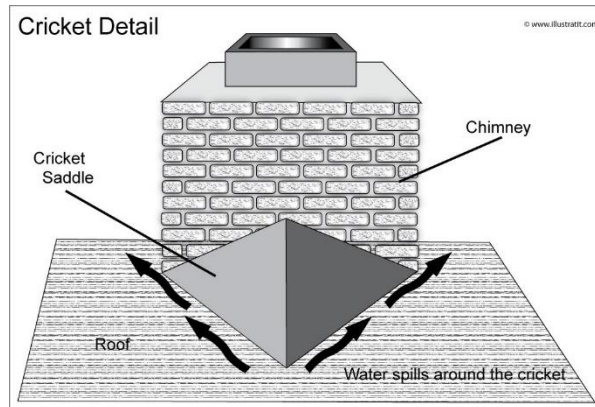
Column: A vertical support or decorative element consisting of a base, shaft, and capital, usually cylindrical.

Compatible: The proposed project must be able to exist or occur together with the existing home, adjacent homes, and all surroundings without conflict.

Compost: A mixture of various decaying organic substances such as dead leaves or grass used for fertilizing soil.

Continuity: The qualities of the proposed project such as materials, colors, dimensions, and details must have a continuous theme and lack interruption as compared with the existing home, adjacent homes, and all surrounding.

Cricket (Roof Cricket): A roof cricket is a ridge structure, designed to divert water on a roof. Roof crickets are found on the high side of a chimney, or when one roof meets another. The roof cricket is normally the same pitch as the rest of the roof, but not always. Roof crickets can be covered with metal flashing or with the same material as the rest of the roof.



Deciduous: Means "temporary" or "tending to fall off" and is typically used in reference to trees or shrubs that lose their leaves seasonally.

Design Review Committee: The Design Review Committee (or "DRC") is appointed by the Board of Directors to assume jurisdiction over architectural matters. In general, the DRC reviews applications for exterior modifications to ensure compliance with the Design Standards. DRC members need not be homeowners or representatives of homeowners. The DRC may, but need not, include architects, engineers, or similar professionals.

Dormer Window: A vertically framed window that projects from a sloping roof and has a roof of its own. Example shown on right:



Drainage: Refers to the movement or flow of stormwater (runoff). Positive drainage is achieved when there are no obstructions and enough slope is created to allow runoff to flow downhill and within established drainage channels, swales and / or storm sewers.

Easement: A right held by an entity to make use of the land of another for a limited purpose, as rite of passage. While each home may be located on an individual fee simple parcel of land, it is possible that the land may be encumbered by an easement. Typically, easements are for storm drainage, sanitary or water lines, gas mains and/or service utilities such as electric, cable, phone, etc.

Egress: A means or place of going out; an exit. See also "Ingress".

Elevation Drawing: A two-dimensional drawing or representation of an exterior face of a structure (such as a shed or deck) in its entirety. The drawing typically identifies the detailing, materials, colors, and dimensions of the structure.

Erosion: The process by which the surface of the earth is worn away by the action of stormwater runoff in a manner which has not been properly designed.

Evergreen: In botany, an evergreen is a plant that has leaves throughout the year, always green. See also “Deciduous”.

Exterior: Outer; being on the outer side of your home or yard.

Fascia: On a home, it is the facing band along the top of a wall just below the roof. On a deck, it is a decorative board used to finish the edge of the deck and hide the support joists underneath.

Flashing: Aluminum or other materials used to make the joint between attached home roofs, or similar transitional edges, weather tight.

Flue: A pipe, tube, or channel for conveying hot air, gas, steam, or smoke, as from a furnace or fireplace to a chimney.

Gable: The triangular portion of the end of a dwelling formed by the slope of the roof and the top of the uppermost story.

Gazebo: A typically six-sided, or circular, standalone structure with a roof.

Grading Plan: Grading refers to shaping the land to direct surface runoff away from structures.

A Lot grading plan specifies the criteria for land development. Included are design elevations, home location, surface gradient or slopes and swale location. The plan also establishes the grading relationships between connecting (or abutting) Lots. It serves as the basis for controlling surface runoff. When planning an improvement such as a patio or pool a grading plan which indicates “spot shots” (specific elevations at a certain spot) or “grading lines” (contour lines which represent a constant elevation) is required to indicate how the grade (elevation of the land) is being changed and to verify that positive drainage is being maintained.

Gutter: The trough that serves as the water removal component of roofing, mounted along the lowest edges of a roof.

Hardscape: The part of a landscape consisting of structures, such as patios, retaining walls, and walkways, made with hard materials. See also “Softscape”.

Hardship: As defined within local ordinance.

Harmonious: The proposed project must form a pleasing or consistent relationship with the existing home, adjacent homes, and all surroundings.

Hot Tub/ Swim Spa or Lap Pools: A tub, usually large enough to accommodate several persons that is filled with hot aerated water and often equipped with a thermostat and whirlpool jets. It is used for recreation, swimming in-place (swim spa) or physical therapy and is often placed outdoors on a patio or deck.

House Location Survey (aka Plat): A legal scale drawing representing a piece of land that constitutes a Lot. This document is obtained at the owner's property settlement or closing. It provides information on the size of the Lot, adjacent Lot numbers, location of the home, driveway and lead walk, easements, and other important features.

Ingress: A means or place of entering; entryway. See also "Egress".

Lamppost: A post which supports a lamp typically for outdoor lighting of a front yard entrance walkway.

Landscaping: To improve the appearance of an area of land by planting trees, shrubs, perennials, flowers or grass, hardscapes or altering the contours of the ground.

Lattice: A one-dimensional structure of open crossed strips of wood used as a screen or support.

Maintenance: The act of maintaining or the state of being maintained. The work of keeping something in proper condition; upkeep.

Mullions and Muntins: The wood strips or simulated wood strips making up a grid, creating the framework for panes of glass in a window or giving the illusion of panes of glass. Also referred to as grilles or divided lights.

Patio: A hard surface (paved) area, adjoining a home and used as an area for outdoor lounging, entertaining, or dining.

Pergola: A pergola is typically a deck or patio feature forming a shaded sitting area of vertical posts or pillars that usually support cross beams and a sturdy open lattice.

Picket (Fence Style): Picket fences are a type of fence distinguished by their evenly spaced vertical boards, the pickets, attached to horizontal rails. The fence consists of posts, post caps, horizontal rails, and the evenly spaced pickets.

Pipestem (Common Driveway): A pipestem/common driveway is a shared driveway for several homes. The driveway is a private stem off a street or cul-de-sac that the homeowners are jointly responsible for.

Pond (Garden): A small body of water artificially formed to serve as a garden feature.

Property Maintenance and Design Standards: This document shall have the same meaning as the "Design Standards" as that term is used and set forth in the Amended and Restated Community Charter.

Rake Boards: Diagonal trim running alongside the edge of roof shingles.

Ridgeline: A line formed along the highest points of a ridge.

Roof Overhang (aka Eave): The overhang at the lower edge of the roof that usually projects out over the walls.

Roof Ridge Vent: An opening along the peak of the roof used for ventilation purposes.

Satellite Dish: A dish antenna used to receive and transmit signals relayed by satellite.

Screening/Softening: The Design Review Committee at its discretion may require landscaping or architectural screening to soften the impact of any proposed use as a condition of approval for any Application. For clarification, when landscaping or architectural screening is specified to soften a proposed structure or use, the landscaping is not specifically required to be a total screen, but rather it is intended to reduce (soften) visual impacts.

Shall: Expresses a mandatory action or prohibition.

Soffit: The finished underside of an eave, usually aluminum or vinyl, and may be solid or perforated.

Softscape: The part of a landscape consisting of plants, soil amendments and mulch. See also "hardscape".

Transom: A window opening above a door or the horizontal division or crossbar in a window.

Trellis: A small "wall" or vertical lattice type structure on which vines and plants grow.

Trim: All framing around windows and doors, including decorative mantles, pediments, and other edging outside of the home.

Unightly Condition: The condition of any property, premises, structure or improvement, or any part thereof, which is detrimental to the surrounding area, due to its condition, as characterized by visual evidence of a lack of general maintenance, repair and upkeep.

Yard Limit (YL): On every House Location Survey/plat there is a dashed line that is interior and parallel to the property line. For example, the dashed line may be labeled "7' YL". This line predominantly establishes the Loudoun County setback requirements for the main home and attached structures. The line separates the buildable portion of the Lot from the portion into which non-exempt structures shall not encroach. This line does not always coincide with the setback requirements of these Design Standards.

Yard Locations (Exhibit C): This exhibit demonstrates example yard locations as applied to the Design Standards for three (3) different Lot scenarios. Homeowners should seek clarification from the Design Review Committee for any Lot scenario that does not match one of these examples:

EXHIBITS

Exhibit A – Exterior Modification Application

Exhibit C – Yard Locations

Exhibit D – Picket Fence Standards

Exhibit E – Tree and Vegetation Removal Policy

Exhibit F – Policy Regarding Cedar Fencing

Exhibit G – Examples of Under Deck Screening

Exhibit H – Mailbox Stain Information

Please mail or drop off the complete application to:
Willowsford HOA
23506 Founders Drive, Ashburn, VA 20148
Willowsfordlife.com



Exterior Modification Application

The undersigned is applying for review and approval by the Association for an exterior modification on their Lot in Willowsford. In accordance with Chapter 5 of the Community Charter, no activity may begin on any property within Willowsford until a written application is submitted to and approved by the Design Review Committee (DRC). The application must be accompanied by plans and specifications as noted in the Property Maintenance and Design Standards.

Location of the Exterior Modification/Addition

Front of dwelling Back of dwelling Side of dwelling Roof of dwelling Other _____

Applicant Information (Circle One): Tenant/Owner

**Tenants must have the application signed by Owner*

Name _____ Address _____

Village _____ Contact Number _____ Contact Email _____

Projected Start Date: _____ Projected Date of Completion: _____

Check below if:

This application is being submitted in response to a notice received for an existing, unapproved modification.

This application is being submitted as an amendment to a previously approved modification.

Modification Description:

*While not required, residents may attend the DRC meeting. It is recommended that residents with complex projects or those with multiple modifications attend the Pre-review and DRC meetings.
Application checklists for specific projects can be found at www.willowsfordlife.com under Design Review FAQ's.*



Supporting Document Checklist:

- House Location Survey Brochure Photographs Color/Material Dimensions
- Elevation Drawing (IA) Grading Plan (IA) Layout Plan (IA)

**Additional documentation may be requested/required with your application.*

IMPORTANT

- Applications received after the application deadline will not be considered until the following month's DRC meeting.
- The application will not be returned to you. Please keep a copy for your records.
- Once the DRC has made its decision, the Association shall notify the Applicant via email. Notification shall be provided within seven (7) business days of the DRC meeting.
- Incomplete applications will not be reviewed by the DRC.

Neighbor Acknowledgements

Signatures or electronic acknowledgement from impacted neighbors are required. Impacted neighbors refer to neighbors in direct view of the completed project. **A signature does not indicate support or approval of the project, only acknowledgement of the project.**

Name _____ Signature _____

Address _____ Date _____

Name _____ Signature _____

Address _____ Date _____

Name _____ Signature _____

Address _____ Date _____

Name _____ Signature _____

Address _____ Date _____



Applicant Acknowledgement

I / we understand and agree:
(Please initial)

1. ____ that all work will be completed in a professional workmanlike manner in accordance with the Property Maintenance and Design Standards and work cannot begin until written approval of the Association has been received.
2. ____ that approval by the Association does not waive the responsibility and obligation of obtaining any local permits and requirement by the County and state Laws, such. (e.g., Zoning Regulations, Ordinances and Building Permits and/or contacting Miss Utility.
3. ____ that I am responsible for determining what easements are located on my Property and to determine if it is permissible to work next to or within an easement and assume all liability for work done in or near an easement located on or off my Property.
4. ____ that no drainage will adversely affect neighboring properties and/Common Areas in the Community. Any damage will become the responsibility of the owner making the modification.
5. ____ that there shall be no deviations from the plans, specifications, and location approved by the Association without prior written consent of the Association; any variation from the original application must be resubmitted for approval.
6. ____ that I authorize members of the Design Review Committee and/or the Association Staff to enter upon my Property during and after construction of the modification.
7. ____ that all work must commence within 6 months of the approved date of this application and be completed within 12 months of the approved date, otherwise the approval by the Association will be forfeited. No refund of review fee will be provided.
8. ____ that construction materials may not be placed in common areas and construction crews will access my property through my yard only, not through common areas.
9. ____ that I am responsible for any damage and all cost to repair adjacent Association or Conservancy property that may result from the proposed modification including remedies to alleviate poor drainage.
10. ____ that no surplus soil from any excavation or grading will be spread in the yard or placed within open space unless specifically authorized with the approval of the application.
11. ____ that I have obtained all adjacent neighbor acknowledgments or have provided proof of repeated attempts where a signature could not be obtained. I understand that acknowledgements are required from all adjoining neighbors as well as neighbor(s) located directly across a street when the improvement includes an area readily visible from said neighbor(s).
12. ____ that what may constitute an acceptable design and approvable application in one case, may not in another. The DRC evaluates each application based on its individual merits and specific circumstances such as characteristics of the housing style, the individual site, and relationships to environmental features.

I hereby certify that the information I have provided in this application is accurate to the best of my knowledge.

Printed Name

Owner Signature

Date



Application Fee Schedule

Please see fee schedule below for applicable processing fees. Application fees are determined by the scope of the project. If your improvement is not listed, please contact DRC@willowsfordlife.com for a determination of the fee. **If the Application proposes more than one item, then the fee will be equal to the highest applicable tier (the fee is not cumulative).**

Fees should be paid by check made payable to Willowsford HOA and submitted with the application.

Fee for Modifications Installed Prior to Approval

For any modifications installed prior to receiving approval from the DRC, an additional processing fee equal to the applicable application fee shall be paid to the Association.

Items that do not require a fee:

Basketball Goals, Single Tree Removal or Planting, and Improvements with a cost of less than \$100. **(A fee of \$25 will be applied if any of these items have been installed prior to receiving approval from the DRC.)**

Tier One - \$25 Fee

- Air Conditioners & Mechanical
- Equipment Arbors & Awnings
- Flagpoles
- Rain Barrels & Compost Bins
- Play Equipment
- Lighting
- Painting or Surface Changes
- Fire Pits
- Minor Landscape Plans (less than ten (10) plants and with no hardscape elements)
- Skylights & Windows
- Trampoline
- Steeping Stones (less than 10)

Tier Two - \$75 Fee

- Patios
- Decks
- Stairs
- Driveway Changes
- Gazebos & Pavilions
- Greenhouses & Sheds
- Hot Tubs & Spas
- Walkways & Major Landscape Plans (greater than ten (10) plants, hedges, and/or hardscape)
- Retaining Walls (less than two (2) feet in height)
- Outdoor Fireplaces, Kitchens, Barbeques
- Audio-Visual System
- Tree Houses
- Tree Removal (more than one (1) tree)
- Solar Panels
- Fencing

Tier Three - \$125 Fee

- Screened/Covered Porches
- Home Additions
- Projects that require a grading plan
- Projects which propose clearing of wooden areas
- Retaining Walls (greater than two (2) feet in height)
- Sports Courts
- Water Features

Tier Four - \$225

- Swimming Pools
- Projects containing three (3) or more modifications from Tiers Two and/or three may be considered Tier Four



Irrigation Acknowledgement Form

To: NAME _____

STREET _____

CITY/STATE/ZIP _____

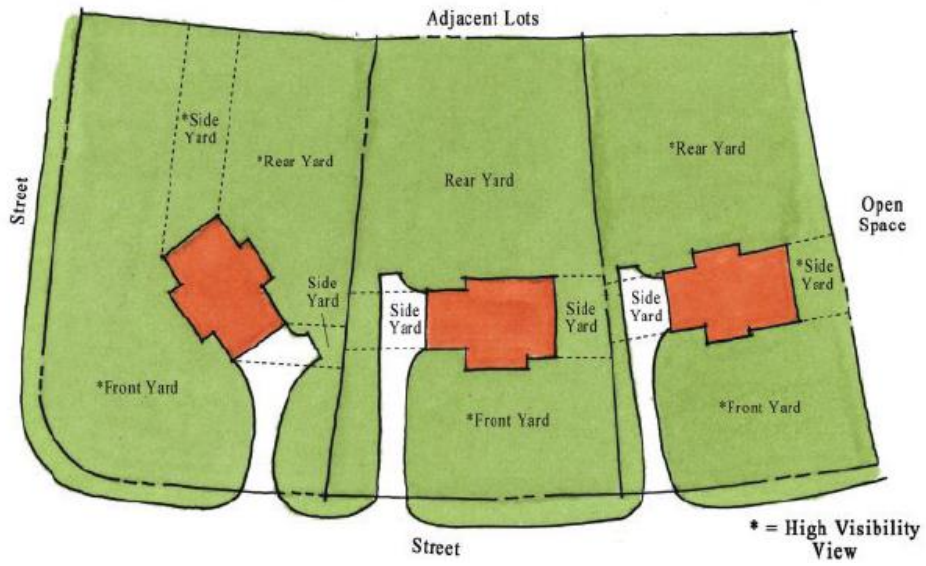
“The Applicant shall be responsible to remedy and / or repair any adverse drainage conditions onsite or on offsite properties caused by the irrigation system. Sprinkler run time and days shall correspond to any guidelines imposed by governmental regulatory agencies. The Irrigation system shall not spray water on offsite property. When Applicable, the Applicant shall be responsible to remove any part of the irrigation system found to be incorrectly installed in any area encumbered by easements, offsite property, right-of-way or other encumbrances which prohibit said irrigation system.”

SIGNATURE

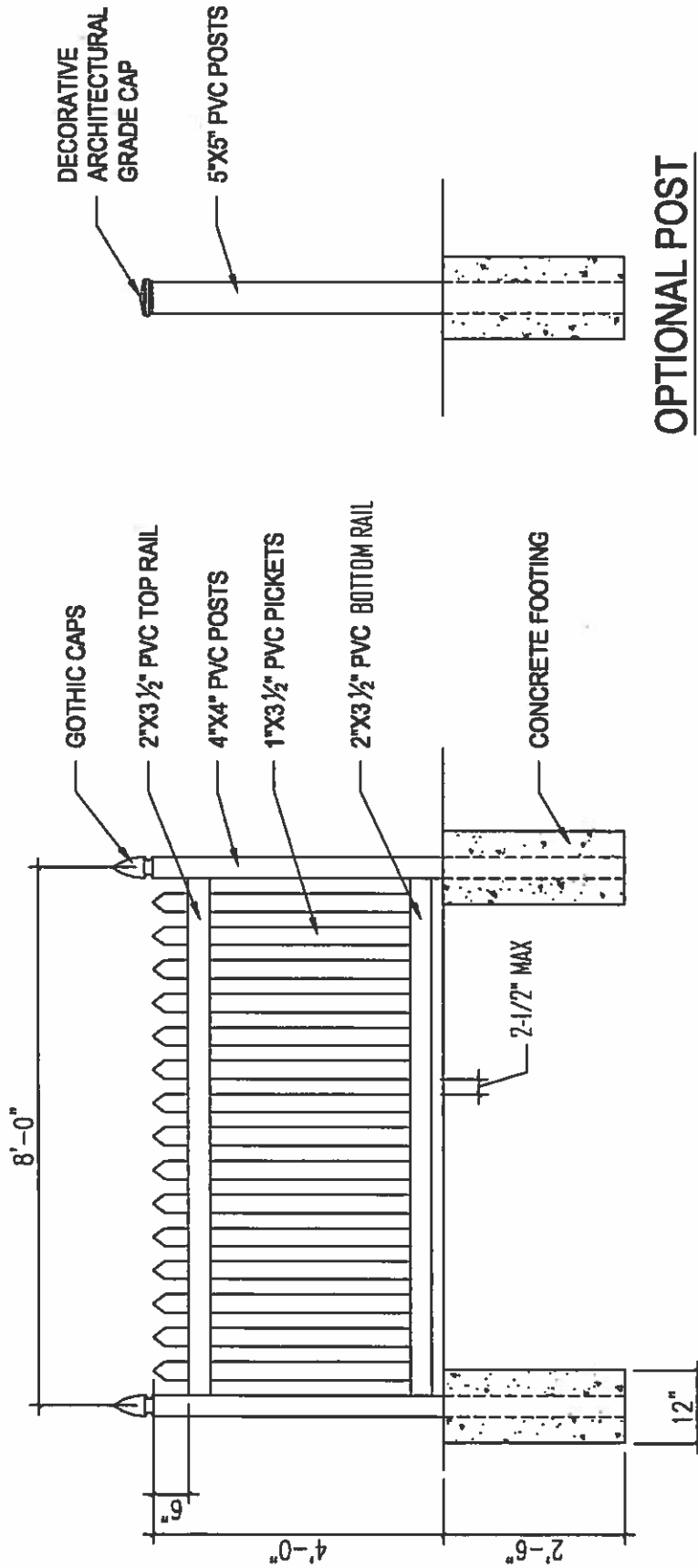
DATE

For questions concerning this document please feel free to contact us at drc@willowsfordlife.com.

Yard Locations



NOTE:
ALL VINYL FENCES MUST BE A HIGH GRADE
PRODUCT. WHITE IS THE ONLY PERMITTED COLOR

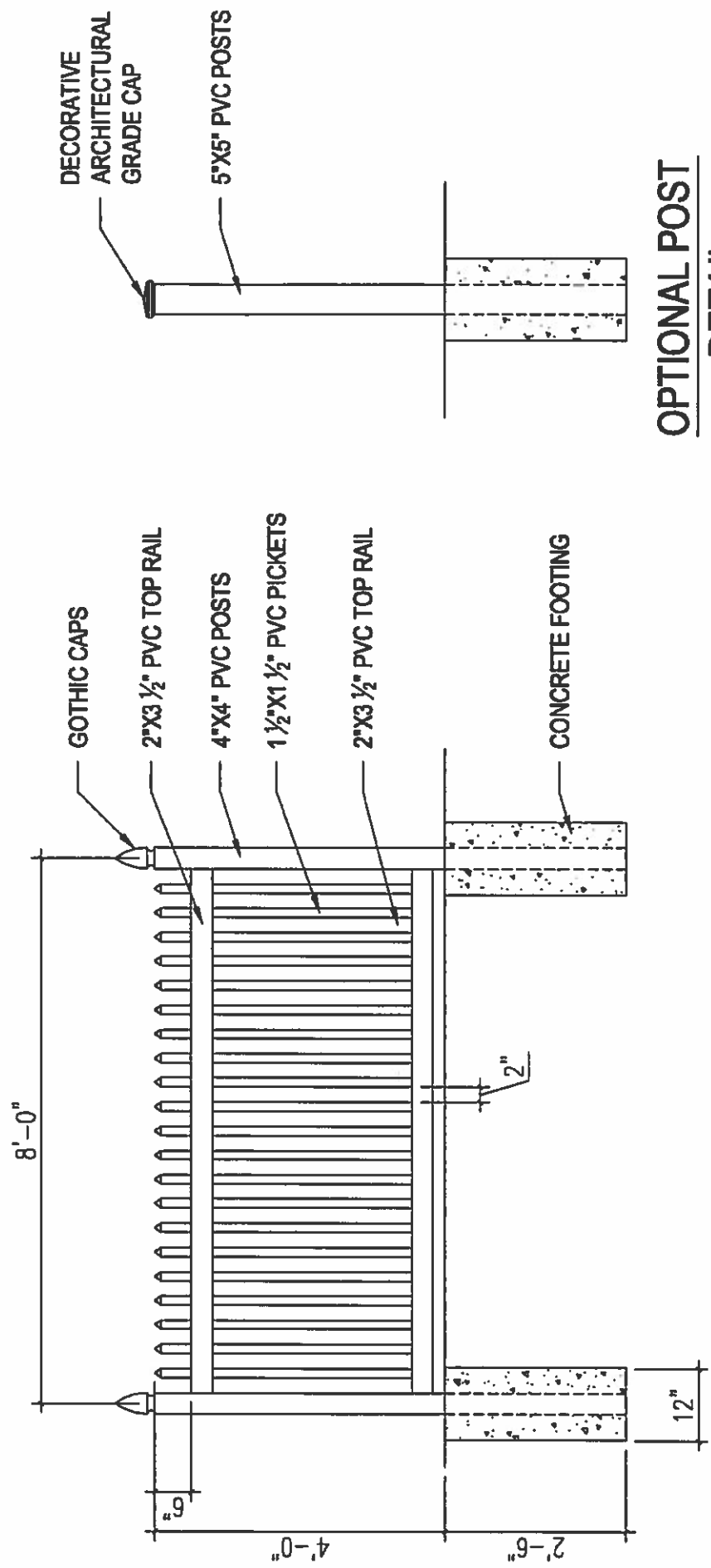


OPTIONAL POST
DETAIL

1 WHITE VINYL GOTHIC PICKET FENCE DETAIL

NOT TO SCALE

NOTE:
 ALL VINYL FENCES MUST BE A HIGH GRADE
 PRODUCT. WHITE IS THE ONLY PERMITTED COLOR



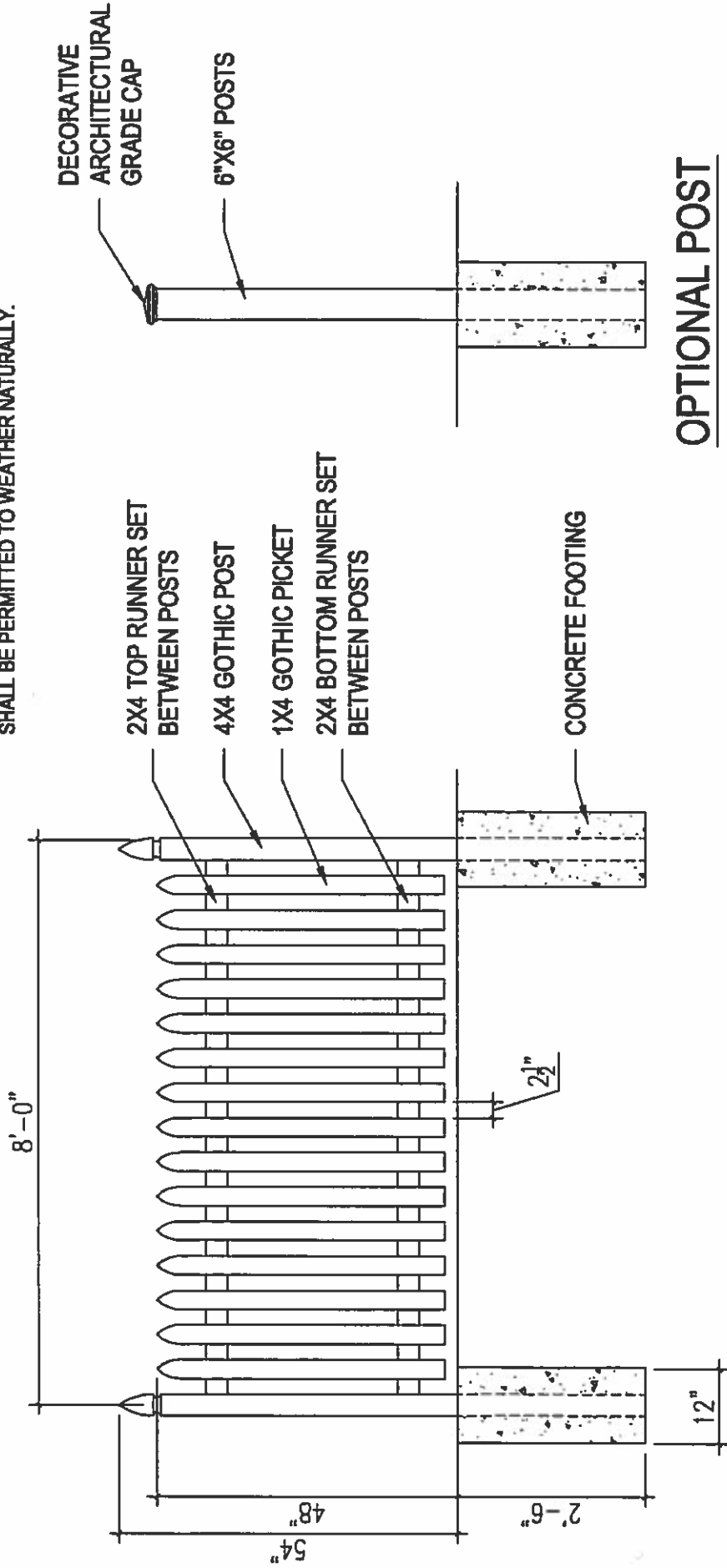
**OPTIONAL POST
 DETAIL**

WHITE VINYL MONUMENT PICKET FENCE DETAIL

NOT TO SCALE

2

NOTES: PICKET FENCES ARE ONLY PERMITTED FOR LOTS WITH CURB AND GUTTER STREETS. THE FENCE SHOWN SHALL BE CEDAR OR PRESSURE TREATED PINE (#2 GRADE OR BETTER). WHEN PT PINE IS USED, THE FENCE MUST BE PAINTED OR STAINED OPAQUE WHITE. OFF WHITE OR OTHER COLORS ARE NOT PERMITTED. IF CEDAR IS USED, THE FENCE SHALL BE PERMITTED TO WEATHER NATURALLY.

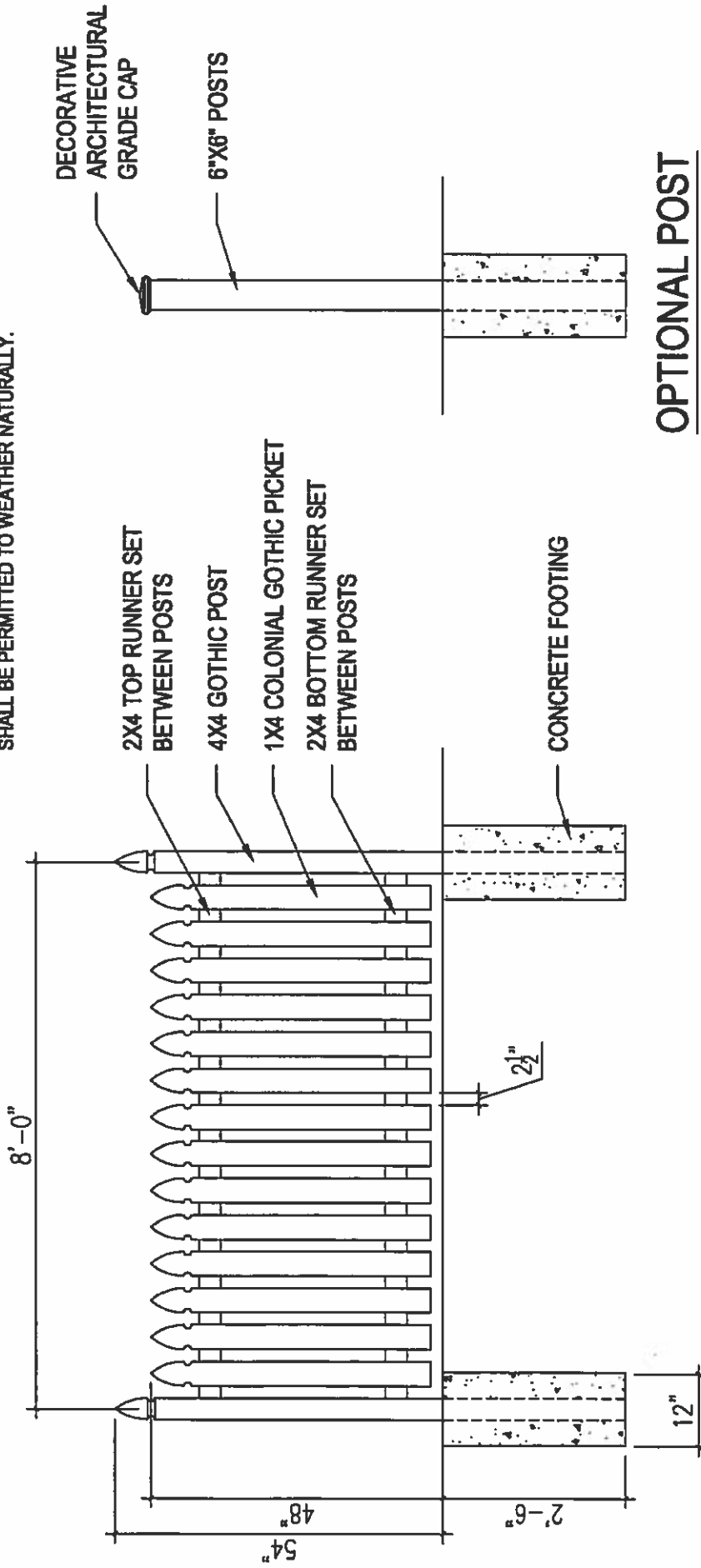


**OPTIONAL POST
DETAIL**

3 GOTHIC PICKET FENCE DETAIL

NOT TO SCALE (PRESSURE TREATED PINE OR CEDAR)

NOTES: PICKET FENCES ARE ONLY PERMITTED FOR LOTS WITH CURB AND GUTTER STREETS. THE FENCE SHOWN SHALL BE CEDAR OR PRESSURE TREATED PINE (#2 GRADE OR BETTER). WHEN PT PINE IS USED, THE FENCE MUST BE PAINTED OR STAINED OPAQUE WHITE. OFF WHITE OR OTHER COLORS ARE NOT PERMITTED. IF CEDAR IS USED, THE FENCE SHALL BE PERMITTED TO WEATHER NATURALLY.

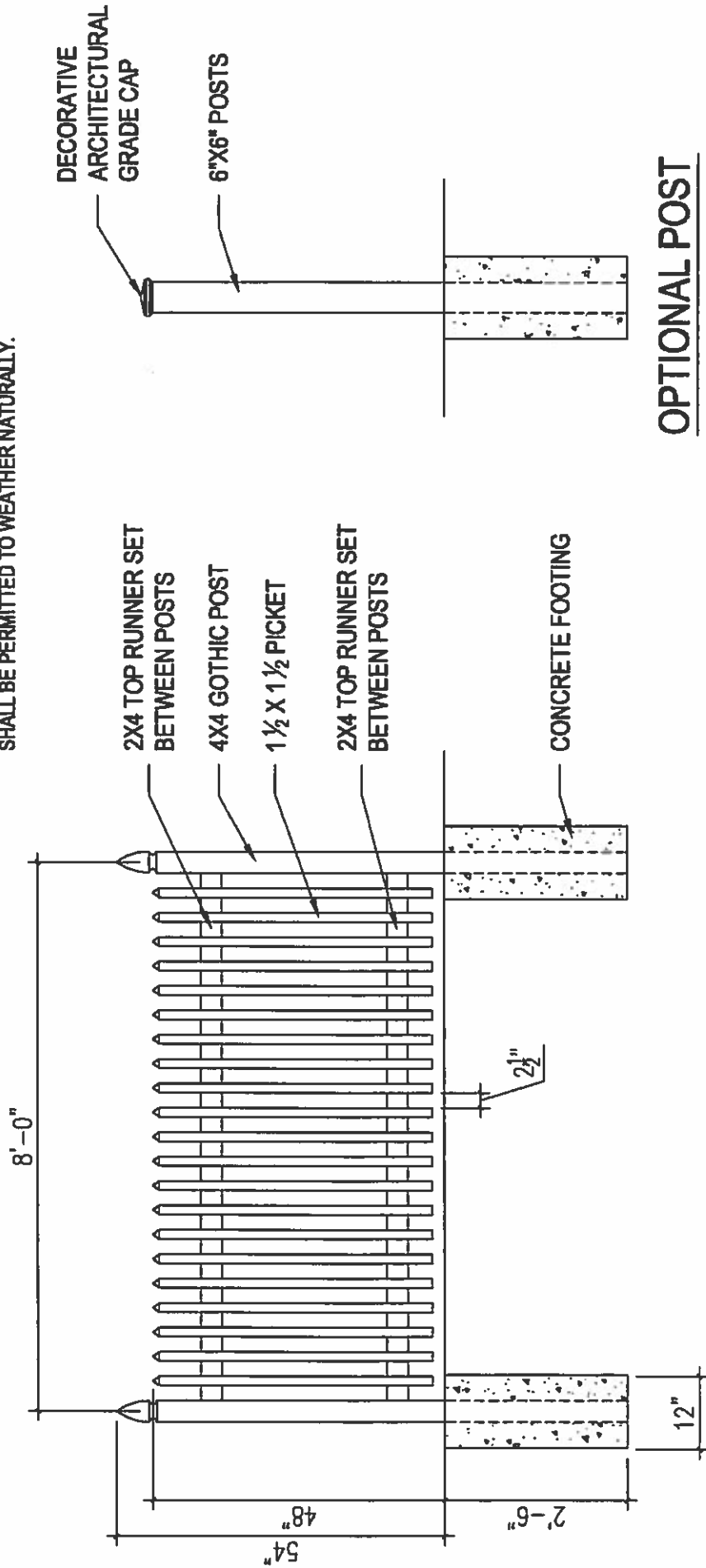


**OPTIONAL POST
DETAIL**

4 COLONIAL GOTHIC FENCE DETAIL

NOT TO SCALE (PRESSURE TREATED PINE OR CEDAR)

NOTES: PICKET FENCES ARE ONLY PERMITTED FOR LOTS WITH CURB AND GUTTER STREETS. THE FENCE SHOWN SHALL BE CEDAR OR PRESSURE TREATED PINE (#2 GRADE OR BETTER). WHEN PT PINE IS USED, THE FENCE MUST BE PAINTED OR STAINED OPAQUE WHITE. OFF WHITE OR OTHER COLORS ARE NOT PERMITTED. IF CEDAR IS USED, THE FENCE SHALL BE PERMITTED TO WEATHER NATURALLY.



**OPTIONAL POST
DETAIL**

5 MONUMENT PICKET FENCE DETAIL

NOT TO SCALE (PRESSURE TREATED PINE OR CEDAR)

Willowsford Homeowners Association, Inc.

Policies and Procedures regarding removal of Trees and Vegetation

Supplemental Design Guideline #1

This supplemental guideline was adopted by the Willowsford Homeowners Association, Inc. (“Association”) Board of Directors (“the Board”) on November 18, 2015. The purpose of this supplemental guideline is to define clear policies and procedures regarding the removal of trees and vegetation located on the properties of the Association (“Common Area”) and properties of individual owners (“Lots”). The Board has determined that this guidance will be useful to ensure that any selective clearing or grading within tree preservation and naturalized areas on an owner’s property shall be conducted in a manner that helps preserve the value of existing vegetation. Tree and vegetation preservation is consistent with the Willowsford Community’s core value to “utilize, enhance and protect the natural features of the Willowsford landscape to convey the value proposition and lifestyle benefits of the Community”.

A. General Tree and Vegetation Removal / Pruning Policies

1. The general policy is to preserve wooded areas in their natural state to the extent possible. All requirements of the Governing Documents, Charter and Residential Design Guidelines for the Association and any other governing authorities must be followed.

2. An application shall be submitted to the Association should an owner seek to remove any shade tree (such as oaks and maples) greater than 4” diameter or any flowering tree (such as dogwoods and redbuds) greater than 2” diameter regardless of their perceived health or quality. An application is also required for any mechanized vegetation removal, brush clearing and grading. Selective **hand pruning** of existing vegetation is permitted in order to remove dead branches, to elevate the canopy and to remove poisonous plants or noxious weeds. (If it requires a chainsaw, it needs Association review!)

3. To the extent possible, necessary tree and vegetation removal and/or pruning shall be limited. A large area of tree and vegetation clearing intended to convert a wooded area into a maintained lawn is prohibited. Any “improvement” of wooded areas should be done in a manner which limits tree and vegetation removal to the extent possible and results in an area which remains attractive and natural in appearance (see Exhibits A and B below).

3. When approval for tree removal or pruning is granted in accordance with Section B herein, the owner or a representative of the owner, (other than the company doing the work) must be on site while the work is being done to insure that the work is conducted as approved by the Association. It is not acceptable to simply instruct a contractor to “clear out” or clean up” an area.

4. Any tree removals or pruning requiring approval in accordance with the provisions contained herein must be done by a licensed, bonded, and insured tree removal company unless specifically requested and approved otherwise by the Association as part of its review.

5. Once any removal work has commenced, it shall be completed in a continuous and timely manner without excessive interruption.

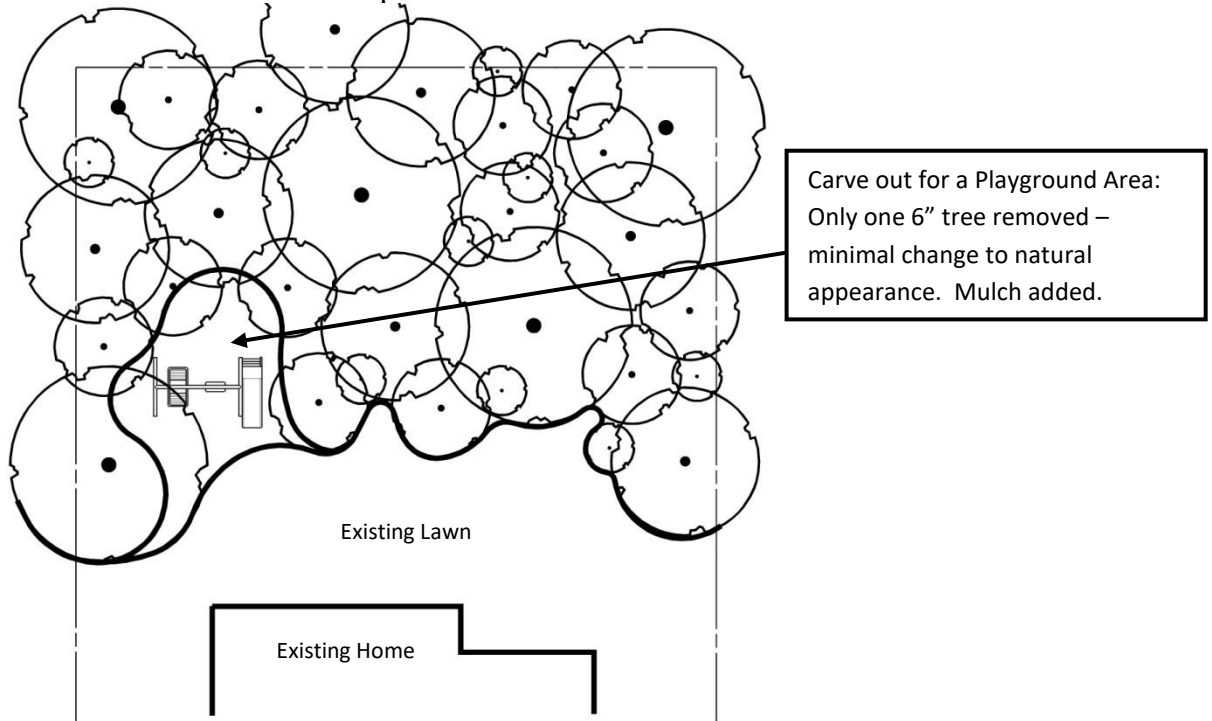


Exhibit A – Example of an acceptable tree removal proposal to create a playground area

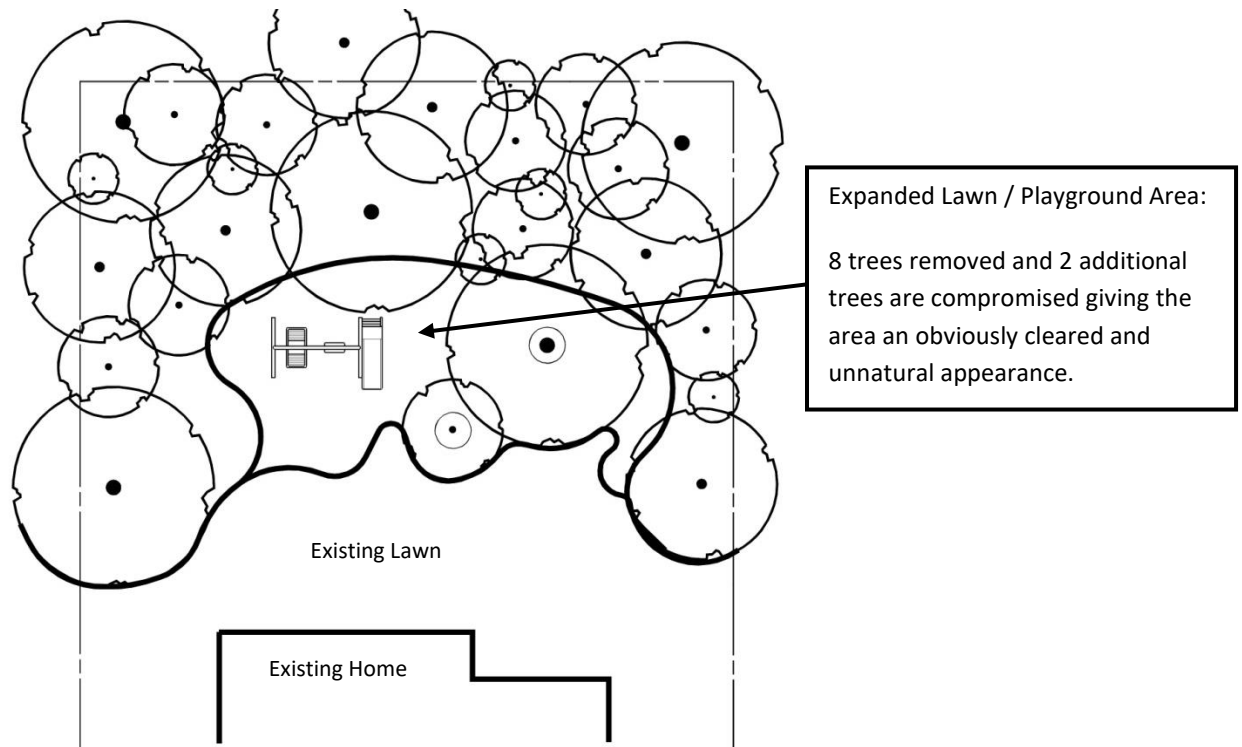


Exhibit B – Example of an unacceptable tree removal proposal to create a playground area

B. Tree and Vegetation Removal / Pruning Procedures

1. Owner’s Property (Lot):

a. Owners are responsible for the removal of diseased, dead, or partially toppled trees that are a potential hazard, nuisance, or unsightly. Said removal shall be at the cost of the owner of the property. An owner may remove a tree on the owner’s lot prior to approval if the tree threatens immediate danger to persons or property. In the event of an emergency removal, the owner must promptly notify the Association via email (HOA@Willowsford.com). Prior to removal, the owner should obtain pictures of the tree and a statement, if possible, from the tree removal contractor or an affected neighbor noting that the tree was, in fact, an immediate danger.

Immediately after the tree removal, the appropriate application shall be submitted to the Association and the tree must be replaced subject to the requirements listed below.

b. Notwithstanding anything else contained herein, an owner must obtain written approval from the Association prior to removing, damaging or pruning of any:

1. Shade Trees (such as Oak or Maple) with a diameter in excess of four inches (measured 12 inches above ground);
2. Ornamental Trees (such as dogwood or redbud) in excess of two inch in diameter (measured 12 inches above ground);

3. Broad Leaf Evergreens (such as holly, laurel, or rhododendron) of any size;
4. Evergreens / Conifers (such as Cedar, Pine or Spruce) with a diameter in excess of two inches (measured 12 inches above ground);
6. All trees or landscaping planted by the Builder

c. An owner must obtain written approval from the Association to prune any branch, shrub or tree at their property line that is rooted in the Common Area and extends onto their Lot.

d. All owners shall promptly dispose of such removed tree, vegetation, or portion thereof in a way to prevent accumulations of brush, stumps, trash, or other materials which may constitute a hazard or render a property unsightly. Any logs or wood chips proposed to be left onsite must be distributed in accordance with the approved application. Any wood chips approved by the Association to remain onsite must remain on the owner's Lot and may not exceed a depth of six inches unless a specific variation is approved by the Association. In no event shall any vegetation, wood chips or other debris be deposited on Common Areas.

2. Common Area or Adjacent Property (Lot):

a. If an owner observes a diseased, dead, or partially toppled tree located within the Common Areas, the owner must notify the Association.. Upon receipt of such notification, the Association shall take any action it believes necessary, in its discretion, to determine whether such tree constitutes a hazard, nuisance or constitutes a risk of falling in circumstances other than severe weather. The Association is not liable for damage to individual Lots or private property arising from a tree that falls in a storm or similar acts of nature, unless the Association had reason to know that such tree was diseased, dead or otherwise in a distressed state.

b. Diseased, dead, or downed trees in the natural forest environment and not located in active use areas of the Common Area may remain unless deemed by the Association to be a hazard or nuisance. Trees infested with tent caterpillars, gypsy moths or any other naturally occurring insects are not necessarily considered to be diseased.

c. Owners may notify the Association by e-mail with pictures of any perceived diseased, dead or hazardous trees located on the Common Area or on an owner's property. The tree(s) reported will be identified and inspected by the Association or assigned Agent as soon as possible. A determination will be made by the Association after that inspection on how to proceed with the identified tree.

3. Application:

a. Owners shall provide a written application to the Association for the removal and/or pruning of any trees as required by this resolution or the Residential Design Guidelines. An application shall include a house location survey (plat) showing the approximate location, type and size of the tree (such as 24" Oak). Photographs of the vegetation and /or tree(s) shall also be submitted. If an area of clearing is proposed then it shall be accurately located on the site grading plan for your home.

b. Upon receipt of an application, the DRC may inspect the site independently or, as deemed necessary, request a meeting with the owner to inspect and evaluate the proposed project.

4. Replacement Policy:

a. In accordance with the Residential Design Guidelines, replacement trees are required and shall be replaced one for one with the same type of tree, (such as a Shade Tree, Ornamental Tree or Evergreen Tree). The minimum replacement size for a Shade Tree shall be 3" caliper, an Evergreen (Conifer or Broadleaf) Tree shall be a minimum of 8' height and an Ornamental Tree shall be a minimum 8' height (or 2" caliper). Additional replacements will be required for all trees and shrubs removed without approval.

Policy regarding Cedar Fencing

**Adopted by the Willowsford Homeowner's Association
Design Review Committee ("DRC")**

(aka Covenants Committee and / or Reviewer)

Adopted on 10/9/15

Background:

The Willowsford Homeowner's Association Residential Design Guidelines ("Design Guidelines") permits picket fencing to weather naturally provided they are constructed of cedar wood. It was brought to the attention of the DRC at the time of the August 2015 DRC meeting that several "cedar" fences within Willowsford have been constructed with pressure treated pine ("PT") posts. Around the time of the meeting, the Applicant who informed the DRC of this information stated that their fencing contractor would not provide cedar posts, that cedar posts would rot within a short period of time and that the fencing industry does not generally use cedar anymore. Due to time constraints and the information provided by the Applicant and their contractor, a modification was granted to allow said Applicant to use PT posts to avoid any delay and hardship.

Concern:

The purpose of specifying cedar wood is to achieve the attractive appearance of aged cedar when left to weather naturally. Cedar is a stable wood that does not shrink, warp or check (cracks and / or splits) as pressure treated pine most likely will do eventually. Pressure-treated (PT) pine boards can warp and shrink quickly after installation. A cedar fence will have a much nicer appearance after 10 years. When cedar fencing is combined with PT posts, there is an obvious difference in appearance. The distraction caused by the difference in materials negates the positive appearance of the cedar wood.

Research:

In researching the issue, the DRC confirmed that Willowsford's local signage contractor uses cedar posts on all of their signs within Willowsford. The company owner said that cedar posts will last 15 plus years provided they are installed and maintained properly. After the August meeting, the DRC conducted additional research including conversations with fencing companies. It was determined that cedar fencing should last 15 to 20 years when installed and maintained properly. It was further determined that cedar is used by some contractors for high quality installations where appearance is a priority.

Resolution:

From this date forward, the DRC will continue to require that cedar fences be constructed using cedar posts. Those fences properly submitted and approved by the DRC on or prior to the August 26, 2015 meeting shall be grandfathered meaning that any such cedar fence using PT posts will be considered in compliance. (It is the opinion of the DRC that the affected Applicants acted on good faith). On future approvals of cedar fencing a stipulation to all approvals will be provided reminding the Applicant of the cedar post requirement. For homeowners who are concerned more about durability, Willowsford allows for PT pine fencing when painted white and / or white vinyl fencing.

Note: This policy is applicable only to those lots having a curb and gutter road section.

Styles of Under Deck Screening

Elevated decks which have an exposed under deck area can have a negative visual impact particularly when used as storage space. In this case, the use of decorative Under Deck Screening or landscaping to minimize adverse visual impacts is required. Any deck that does not have under deck screening is expected to be kept in a neat and orderly condition.

Plain PVC

Plain PVC or plain wood paneling, with an exposed height not to exceed two (2) feet, will be permitted when the exposed portion of the panels are "Picture Framed" (also known as "Box-framed"). A description of "picture framing" is included in text to follow below. When the exposed portion of the plain PVC or plain wood paneling exceeds two (2) feet in height, then the paneling must either be painted to match the color of the home's siding with "picture framing" applied or an option is to apply a "Board and Batten" (see description below) design used to enhance the appearance of the plain PVC or Wood panels thereby allowing for a height greater than two (2) feet. See example picture below showing that the panels are painted to match the home's siding color.

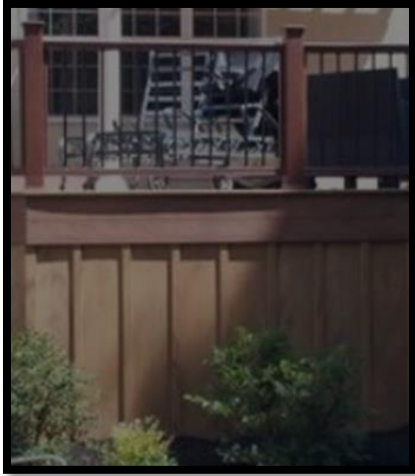


Picture Framing

Picture framing is not a separate style, but rather a finishing technique that may be incorporated with several of the styles of underdeck screening / skirting noted herein. "Picture framing" (also known as "Box framing") typically consists of 1" x 3" or "1 x 4" trim boards applied to all four sides to "Frame" the interior panels for a finished appearance. In many cases, the deck fascia is used as the top trim. The interior panels may include any of the above referenced screening / skirting styles, but is required for Plain PVC or wood paneling, Bead-Board panels, hardi-plank and lattice. The example picture shown above demonstrates painted PVC under deck screening which is "picture framed".

Board and Batten

This style of skirting consists of “battens” used to cover and enhance plain PVC or wood Paneling “boards”. The “boards” (paneling) are set vertically with butt joints and then covered by the “battens”. For the purpose of these standards, the “battens” shall be no further apart than two (2) feet. See example picture below:



Horizontal Boards (including “Shiplap”)

This style of skirting consists of horizontal boards fitted together so that each overlaps the one below or there may be space between the boards of less than one (1) inch apart. The horizontal style may also consist of hardi-plank siding which matches the home. See examples below:



Vertical Boards

This style of skirting consists of vertical boards fitted together so that each abuts or there may be space between the boards of less than one (1) inch apart. The vertical style may also consist of Bead-Board which is finished with “picture framing”.



Lattice

Lattice Panels consist of strips of wood (or vinyl) crossed and fastened together typically with square or diamond-shaped spaces left between and may be used as another style of skirting. Lattice shall include “picture framing”. A description of “picture framing” is included in text to follow below. Note that in the unacceptable example below, the lattice is not picture framed.



Alternative Underdeck screening / skirting

The most common styles of underdeck screening / skirting have been noted herein. However, there may be alternative styles that can be considered on a case-by-case basis. Consideration will depend on whether the design is proportional to the home; colors and materials are compatible with the home and neighborhood and the design is harmonious with the rest of the community.



Willowsford

EXHIBIT H

Mail Box Post Stain Information

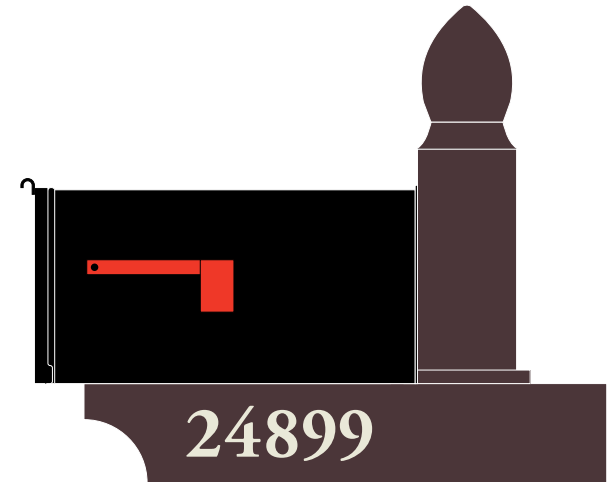
Stain can be purchased at ANY Benjamin Moore store and is available at both half pint and gallon sizes.
Bring this sheet to the store and they can make the colors for you using the formulas below.



POST COLOR

Benjamin Moore
Custom Color: Willowsford Brown

Willowsford Brown 640 - 4X (Half Pint)			Willowsford Brown 640 - 4X (Gallon)		
Y3	0x	2.6250	Y3	1x	9.7500
S1	0x	11.3750	S1	5x	22.5000
W1	0x	2.3125	W1	1x	5.0000
R3	0x	2.9375	R3	1x	14.7500



NUMBER COLOR

Benjamin Moore
Standard Color: Powell Buff (HC-35)

Powell Buff (HC-35) 640 - 1X (Half Pint)			Powell Buff (HC-35) 640 - 1X (Gallon)		
Y3	0x	4.9375	Y3	2x	15.0000
S1	0x	0.5000	S1	0x	7.5000
R1	0x	1.0000	R1	0x	15.5000

